

2200 CARLTON WAY

RESIDENTIAL REMODEL, ADDITION & (N) JADU



PROJECT DIRECTORY

| | |
|----------------------|---|
| OWNER: | NICK MASON 2200 CARLTON WAY SANTA BARBARA, CALIFORNIA 93103 t: 805-252-6800 |
| DESIGNER: | EVOKE DESIGN SHAUN LYNCH PO BOX 1104 SANTA BARBARA, CA 93102 t: 805-837-5059 |
| STRUCTURAL ENGINEER: | CEDAR STRUCTURAL 1 N CALLE CESAR CHAVEZ, STE # 102 SANTA BARBARA, CA, 93103 805-455-6120 |
| GENERAL CONTRACTOR: | NICK MASON INC. 2200 CARLTON WAY SANTA BARBARA, CALIFORNIA 93103 t: 805-252-6800 |

SHEET INDEX

| | |
|---|--|
| GENERAL | A401 BUILDING SECTIONS |
| A001 GENERAL INFORMATION/ SHEET INDEX | A402 BUILDING SECTIONS |
| A002 GENERAL NOTES/SYMBOLS | A403 BUILDING SECTIONS |
| A006 SITE PHOTOS | A601 DOOR & WINDOW SCHEDULES & DETAILS |
| A007 NEIGHBOR CONTEXT/ TWO-STORY EXHIBIT | A608 DETAILS |
| A008 INSPIRATION IMAGES | A601 GRAPHS |
| | A602 RENDERINGS |
| ARCHITECTURAL | A910 MATERIAL & COLOR SAMPLES |
| A101 SITE PLANS | A911 PREVIOUS DESIGN OPTIONS |
| A201 EXISTING FLOOR PLAN | LANDSCAPE |
| A202 PROPOSED FIRST FLOOR PLAN | PL-1 PRELIMINARY LANDSCAPE PLAN |
| A203 PROPOSED 2ND FLOOR PLAN | |
| A301 WEST ELEVATIONS - EXISTING & PROPOSED | MECHANICAL |
| A302 EAST ELEVATIONS - EXISTING & PROPOSED | MP100 FIRST FLOOR MECHANICAL |
| A303 NORTH ELEVATIONS - EXISTING & PROPOSED | MP200 MECHANICAL SPEC SHEETS |
| A304 SOUTH ELEVATIONS - EXISTING & PROPOSED | TOTAL SHEETS: 25 |

PROJECT SITE AND BUILDING INFORMATION

| | |
|----------------------------|--|
| PROJECT DESCRIPTION | <ul style="list-style-type: none"> - REMODEL AND ADDITION TO EXISTING 1,017 SF SINGLE LEVEL RESIDENCE - FIRST LEVEL ADDITION OF APPROX. 342 SF - SECOND LEVEL ADDITION OF 446 SF - REMOVE (E) TWO CAR GARAGE; REPLACE W/ (N) ATTACHED 2-CAR GARAGE - REMOVE (E) ACCESSORY STRUCTURE ATTACHED TO GARAGE - NEW ATTACHED 353 SF JUNIOR ACCESSORY DWELLING UNIT - REPLACE (E) 8x8 SIDING WITH (N) VERTICAL WOOD PLANK SIDING @ GARAGE AND (E) RESIDENCE - RELOCATE ENTRY TO HOUSE FROM PALISADES DR. TO CARLTON WAY - REMOVE AND RELOCATE THE DRIVEWAY AND REPLACE THE DRIVEWAY APRON WITH CURB AND GUTTER CONSISTENT WITH CITY CONSTRUCTION STANDARD DETAILS - ALL WORK PROPOSED WITHIN THE CITY'S PUBLIC RIGHT OF WAY WILL REQUIRE A SEPARATE PUBLIC WORKS PERMIT. THE PW PERMIT MUST BE ISSUED PRIOR TO OR CONCURRENTLY WITH THE BUILDING PERMIT - NEW 3'-6" X 17'-0" SLIDING VEHICLE GATE - REQUEST FOR PARKING DESIGN WAIVER -DRIVEWAY GATE LESS THAN 20' FROM THE FRONT LOT LINE - MINOR ZONING EXEMPTION REQUESTED TO KEEP EXISTING STRUCTURE ENCROACHMENT IN FRONT YARD SETBACK OFF CARLTON WAY - REMOVE (1) PINE TREE; (3) CITRUS TREES |
|----------------------------|--|

| | | |
|--|---|--------------------------|
| PROJECT ADDRESS | 2200 CARLTON WAY SANTA BARBARA, CA 93109 | |
| APN | 041-325-010 | |
| LOT AREA | 6,948 sf / .16 ac (GROSS) | |
| LAND ZONE | E-3/S-D-3 (ONE FAMILY RESIDENC/ COASTAL OVERLAY) | |
| FIRE HAZARD ZONE | COASTAL INLAND FIRE ZONE | |
| GENERAL PLANNING DISIGNATION | RESIDENTIAL | |
| EXISTING USE | SINGLE FAMILY RESIDENCE | |
| PROPOSED USE | SINGLE FAMILY RESIDENCE + ACCESSORY DWELLING UNIT | |
| AVERAGE SLOPE | 88% | |
| FIRE SPRINKLERS | YES: UNDER SEPERATE PERMIT | |
| SETBACKS | 20'-0" FRONT, 6'-0" INTERIOR | |
| GRADING | IMPORT EXPORT | TBD cu yds TBD cu yds |
| APPLICABLE BUILDING CODE | 2022 CALIFORNIA CODE F REGULATIONS, TITLE 24 | |
| CONSTRUCTION TYPE | V-B | |
| OCCUPANCY GROUP | R-3 | |
| BUILDING HEIGHT | 30'-0" MAXIMUM HEIGHT ABOVE EXISTING GRADE | |
| BUILDING AREA | NET FLOOR AREA | GROSS FLOOR AREA |
| EXISTING AREA: | | |
| (E) RESIDENT | 1,017 SF | 1,118 SF |
| (E) GARAGE (TO REMOVE) | 386 SF | 400 SF |
| TOTAL AREA: | 1,403 SF | 1,518 SF |
| PROPOSED AREA: | | |
| (N) 1ST FLOOR ADDITION | 342 SF | 375 SF |
| (N) 2ND STORY | 446 SF | 490 SF |
| (N) GARAGE | 423 SF | 465 SF |
| TOTAL AREA: | 2,228 SF | 2,448 SF |
| (E) 1ST FLOOR - REMODELED | 1,017 SF | 1,118 SF |
| TOTAL JADU AREA: | 353 SF | 388 SF |
| JUNIOR ACCESSORY DWELLING UNIT: | 353 SF | 388 SF |
| TOTAL AREA: | 2,581 SF | 2,836 SF |
| PATIO/DECK AREA | | |
| LOWER PATIO | 484 SF | |
| 2ND STORY PATIO | 137 SF | |
| OPEN YARD AREA | 825 SF (PER SBMC 30.140.140) | |
| PRIMARY RESIDENCE PARKING | | |
| EXISTING: | 2 COVERED / 0 UNCOVERED | |
| REQUIRED: | 2 PARKING SPACES REQUIRED | |
| PROPOSED: | 2 COVERED / 0 UNCOVERED | |
| ACCESSORY DWELLING UNIT PARKING | | |
| EXISTING: | N/A | |
| REQUIRED: | 0 PARKING SPACES REQUIRED PER SBMC §28.86.080 BECAUSE A PUBLIC TRANSIT STOP IS LOCATED WITHIN A WALKING DISTANCE OF ONE-HALF MILE | |
| PROPOSED: | 0 COVERED / 0 UNCOVERED | |

| | |
|--|-----------------|
| STORM WATER MANAGEMENT PROGRAM: TIER 2 SWMP | |
| A. PROPOSED NEW IMPERVIOUS AREA: | 3,159 SF |
| B. PROPOSED REDEVELOPED IMPERVIOUS AREA: | 1,276 SF |
| C. PROPOSED REMOVED IMPERVIOUS AREA: | 517 SF |
| PROPOSED IMPERMEABLE = REPLACED + NEW (A+B): | 4,952 SF |

| | |
|--|--|
| BMP MEASURES: TO BE CONFIRMED BY CIVIL ENGINEER | |
| NOTE: FIRE EXTINGUISHING SYSTEM. AN AUTOMATIC FIRE SPRINKLER SYSTEM IS REQUIRED FOR THIS BUILDING UNDER A SEPARATE PERMIT | |

| | |
|---|--|
| CODE COMPLIANCE | |
| GOVERNING AGENCY: CITY OF SANTA BARBARA BUILDING AND SAFETY 630 GARDEN STREET SANTA BARBARA, CALIFORNIA 93101 (805) 564-5485 | |
| APPLICABLE CODES: All work and material shall be predommed and installed in compliance with the current editions of the following codes as adopted by the local governing authorities. Nothing in these plans is to be construed to permit work not conforming to these codes. | |
| <ul style="list-style-type: none"> • 2022 California Building Standards Code • 2022 California Residential Code • 2022 California Mechanical Code • 2022 California Plumbing Code • 2022 California Electrical Code • 2022 CALGREEN Building Standards Code • 2022 California Energy Code • City of Santa Barbara Municipal Code 5919 • Best Management Practices Listed on sheet A002 | |

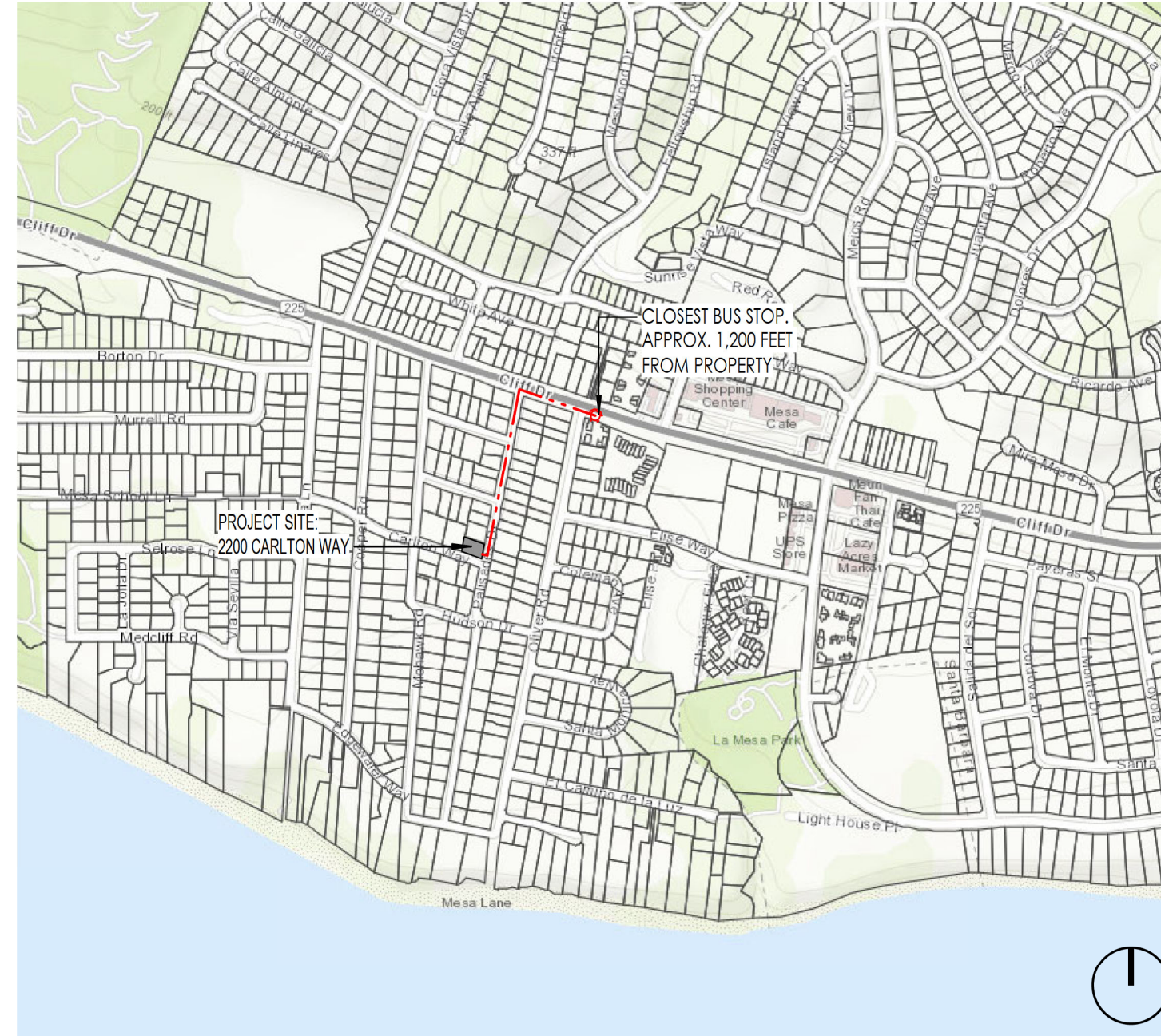
F.A.R. Calculator

Instructions: Enter the information in the white boxes below. The spreadsheet will calculate the proposed FAR (floor area ratio), the 100% max FAR per the Zoning Ordinance for "Required FAR", and the 85% max FAR per the Zoning Ordinance for "Required FAR". Additionally, it will determine whether a FAR Modification is required. *Guideline FAR calculations are as outlined in the "Applicability" section of the Single Family Residence Design Guidelines, page 23-C.

The **Net Lot Area** does not include any Public Road Easements or Public Road Right-of-Way areas. The proposed **TOTAL Net FAR Floor Area** shall include the net floor area of all stories of all buildings, but may or may not include basement/finisher floor area. For further clarification on these definitions please refer to SBMC §28.15.063 & 30.300. This form has not yet been updated for current Title 30 zone designations, use SBMC §30.35.010 for comparison.

| | |
|--|-------------------------------------|
| ENTER Project Address: | 2200 Carlton Way |
| Is there a basement or cellar existing or proposed? | No |
| ENTER Proposed TOTAL Net FAR Floor Area (in sq. ft.): | 2,581 |
| ENTER Zone ONLY from drop-down list: | A-1 or RS-1A |
| ENTER Net Lot Area (in sq. ft.): | 6,948 |
| Is the height of existing or proposed buildings 17 feet or greater? | No |
| Are existing or proposed buildings two stories or greater? | No |
| The FAR Requirements are: | GUIDELINE** |
| ENTER Average Slope of Lot: | 8.00% |
| Does the height of existing or proposed buildings exceed 25 feet? | No |
| Is the site in the Hillside Design District? | No |
| Does the project include 500 or more cu. yds. of grading outside the main building footprint? | No |
| An FAR MOD is not required per SBMC §28.15 or §30.20.030 | |
| FLOOR AREA RATIO (FAR): | 0.371 |
| Lot Size Range: | 4,000 - 9,999 sq.ft. |
| MAX FAR Calculation (in sq. ft.): | 1,200 + (0.25 x lot size in sq.ft.) |
| 100% MAX FAR: | 0.423 |
| 100% MAX FAR (in sq. ft.): | 2,937 |
| 85% of MAX FAR (in sq. ft.): | 2,496 |
| 80% of MAX FAR (in sq. ft.): | 2,350 |
| The 2581 square foot proposed total is 88% of the MAX FAR.* | |
| * NOTE: Percentage total is rounded up. | |
| **NOTE: If your project is located on a site with multiple or overlay zones, please contact Planning Staff to confirm whether the FAR limitations are "Required" or "Guideline". | |
| Acreege Conversion Calculator | |
| ENTER Acreege to Convert to square footage: | 1.00 |
| Net Lot Area (in sq. ft.): | 43560 |

VICINITY MAP



STORMWATER MANAGEMENT

THIS PROJECT MUST COMPLY WITH TIER 2 STORMWATER MANAGEMENT PLAN. THE PROJECT WILL BE REVIEWED BY SANTA BARBARA CITY CREEKS DIVISION FOR COMPLIANCE.

FIRE PROTECTION

THIS RESIDENCE SHALL BE EQUIPPED WITH A FIRE SPRINKLER SYSTEM CONSISTENT WITH THE GUIDELINES OF THE SANTA BARBARA CITY AND SANTA BARBARA COUNTY FIRE PROTECTION DISTRICT. THE DESIGN OF THE SYSTEM WILL BE SUBMITTED BY THE FIRE PROTECTION CONTRACTOR UNDER A SEPARATE PERMIT.

PROJECT MANUAL

AT THE TIME OF FINAL INSPECTION, A MANUAL, COMPACT DISC OR WEB BASED REFERENCE SHALL BE PLACED IN THE BUILDING. THIS MANUAL SHALL INCLUDE ALL OF THE ITEMS LISTED IN THE CALIFORNIA GREEN BUILDING STANDARDS CODE SECTION 4.10.1. PLEASE SEE SHEET A003 FOR MORE INFORMATION.

SPECIAL TESTS & INSPECTIONS

PLEASE SEE STRUCTURAL DRAWINGS FOR INFORMATION ON STRUCTURAL OBSERVATION AND SPECIAL INSPECTIONS.

SOILS TESTING AND INSPECTION: TESTING AND INSPECTION OF SOILS SHALL BE CARRIED OUT AS INDICATED IN THE SOILS REPORT FOR THIS PROJECT. PLEASE REFER TO THE SOILS ENGINEER'S REPORT FOR THIS INFORMATION.

PRE-CONSTRUCTION MEETING
 - EXCAVATION, SUBGRADE, AND BOX CONSTRUCTION INSPECTION
 - FILTER LAYER, UNDERDRAIN, ROCK/SOIL/SAND LAYER INSTALLATIONS
 - PERMEABLE PAVEMENT, PERVIOUS CONCRETE, OR PERVIOUS ASPHALT INSTALLATION
 - FINAL INSPECTION ONCE COMPLETED

INSPECTIONS SHALL BE CALLED IN BY CONTRACTOR FOR INSPECTION 72 HOURS PRIOR TO NEEDED INSPECTION, THE CITY WILL THEN ROUTE THE REQUEST TO THE GSP INSPECTOR OR THIRD-PARTY COMPANY

CONSTRUCTION WASTE MANAGEMENT

AN APPROVED COUNTY SORTING/RECYCLING FACILITY MUST BE UTILIZED FOR CONSTRUCTION WASTE MANAGEMENT TO COMPLY WITH CONSTRUCTION WASTE REDUCTION, DISPOSAL & RECYCLING PROVISIONS OF THE CALIFORNIA GREEN BUILDING STANDARDS CODE SECTION 4.08.1.

FACILITY: MARBORG INDUSTRIES
 132 NOPALITOS WAY
 SANTA BARBARA, CA 93103
 805.963.1892

9/9/2024, 3:57:56 PM

2200 CARLTON

2200 CARLTON WAY
 SANTA BARBARA, CA 93109

Designer:



P.O. BOX 1104 SANTA BARBARA, CA 93102 (805) 837-5059

Client
 NICK MASON
 2200 CARLTON WAY
 SANTA BARBARA, CA

CDP SUBMITTAL

| | | |
|-------------------------|-------------------|------------|
| DRAWING REVISION | | |
| NO. | DESCRIPTION | DATE |
| 1 | CDP-1ST SUBMITTAL | 03.03.2023 |
| 2 | CDP-2ND SUBMITTAL | 09.06.2024 |
| | | |
| | | |
| | | |
| | | |

THIS DRAWING TO BE READ IN CONJUNCTION WITH ALL RELATED DRAWINGS. DO NOT SCALE FROM THIS DRAWING. EVOKE DESIGN IS TO BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCY. THIS DRAWING IS COPYRIGHTED AND REMAINS THE PROPERTY OF EVOKE DESIGN.

GENERAL INFOMATION/ SHEET INDEX

A001

EROSION & SEDIMENT CONTROL + CONCRETE WASHOUT DETAILS

GREEN CODE EROSION & SEDIMENT CONTROL REQUIREMENTS

CONSTRUCTION SITE BEST MANAGEMENT PRACTICES:

BEST MANAGEMENT PRACTICES FOR CONSTRUCTION ACTIVITIES: ERODED SEDIMENTS AND OTHER POLLUTANTS MUST BE RETAINED ON-SITE AND MAY NOT BE TRANSPORTED FROM THE SITE VIA SHEET FLOW, SWALES, AREA DRAINS, NATURAL DRAINAGE COURSES, OR WIND. STOCKPILES OF EARTH AND OTHER CONSTRUCTION RELATED MATERIALS MUST BE PROTECTED FROM BEING TRANSPORTED FROM THE SITE BY THE FORCES OF WIND OR WATER. FUELS, OILS, SOLVENTS, AND OTHER TOXIC MATERIALS MUST BE STORED IN ACCORDANCE WITH THEIR LISTING AND ARE NOT TO CONTAMINATE THE SOIL AND SURFACE WATERS. ALL APPROVED STORAGE CONTAINERS ARE TO BE PROTECTED FROM THE WEATHER. SPILLS MAY NOT BE WASHED INTO THE DRAINAGE SYSTEM. EXCESS OR WASTE CONCRETE MAY NOT BE WASHED INTO PUBLIC WAY OR ANY OTHER DRAINAGE SYSTEM. PROVISIONS, SUCH AS CONCRETE WASHOUT BASINS, MUST BE MADE TO RETAIN CONCRETE WASTES ON-SITE UNTIL THEY CAN BE DISPOSED OF AS SOLID WASTE. TRASH AND CONSTRUCTION RELATED SOLID WASTE MUST BE DEPOSITED INTO A COVERED WASTE RECEPTACLE TO PREVENT CONTAMINATION OF RAINWATER AND DISPERSAL BY WIND. SEDIMENTS AND OTHER MATERIAL MAY NOT BE TRACKED FROM THE SITE BY VEHICLE TRAFFIC. THE CONSTRUCTION ENTRANCE ROADWAYS MUST BE STABILIZED SO AS TO INHIBIT SEDIMENTS FROM BEING DEPOSITED INTO THE PUBLIC WAY. ACCIDENTAL DEPOSITION MUST BE SWEEP UP IMMEDIATELY AND MAY NOT BE WASHED DOWN BY RAIN OR OTHER MEANS. ANY SLOPES WITH DISTURBED SOILS OR DENIED VEGETATION MUST BE STABILIZED SO AS TO MINIMIZE EROSION BY WIND OR WATER.

*REFERENCE CONCRETE WASHOUT & EXCESS CONSTRUCTION MATERIAL BASIN DETAIL ON THIS SHEET

EROSION CONTROL AND SEDIMENT CONTROL REQUIREMENTS

- IF GRADING OCCURS DURING NOVEMBER 1 THROUGH APRIL 15, NO GRADING SHALL OCCUR UNLESS APPROVED EROSION AND SEDIMENT CONTROL MEASURES ARE IN PLACE. DISCHARGES OF SEDIMENT FROM THE PROJECT MAY RESULT IN A STOP WORK ORDER.
- ALL EARTHWORK ON HILLSIDES, SLOPING OR MOUNTAINOUS TERRAIN SHALL BE STABILIZED TO PROTECT AND PREVENT LOSS OF SOILS, AS NECESSARY. YEAR-ROUND.
- SURFACE DRAINAGE SHALL BE PROVIDED AT A MINIMUM OF 2% FOR 5 FEET AWAY FROM THE FOUNDATION LINE OR ANY STRUCTURE.
- ALL TREES THAT ARE TO REMAIN ON SITE SHALL BE TEMPORARILY FENCED AND PROTECTED AT THE DRIP LINE DURING GRADING.
- PIPE DOWNSPOUTS IN AN APPROVED NON-EROSIVE MANNER, A SAFE DISTANCE FROM THE STRUCTURE. TYPICALLY A 10 FEET MINIMUM IS RECOMMENDED.
- PLEASE REFER TO THE SLOPS REPORT FOR ADDITIONAL SITE DRAINAGE RECOMMENDATIONS AND/OR REQUIREMENTS.
- AN EROSION AND SEDIMENT CONTROL PLAN SHALL BE REQUIRED AS PART OF THE GRADING PLAN AND PERMIT REQUIREMENTS. PLEASE REFERENCE TYPICAL EROSION AND SEDIMENT CONTROL DETAILS ON THIS SHEET

FOR ADDITIONAL INFORMATION CONTACT:

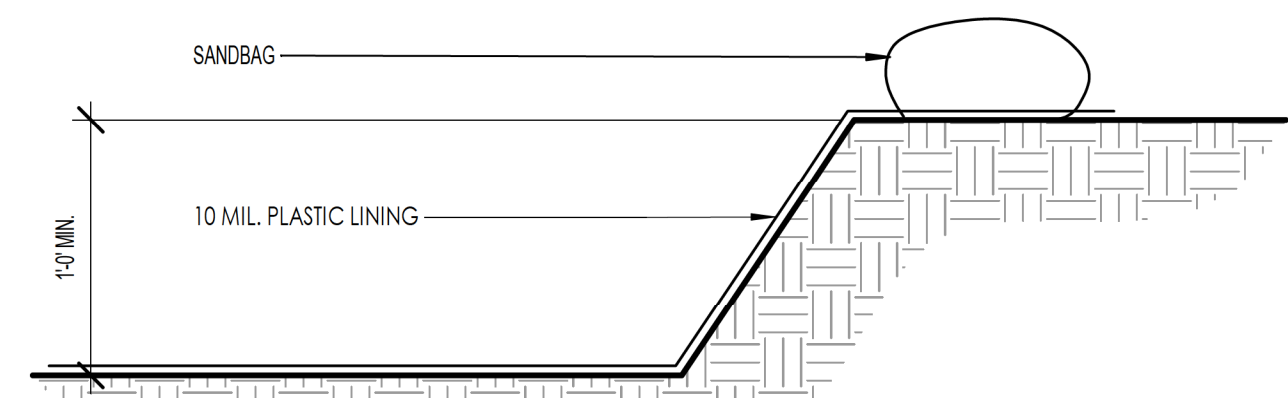
PLANNING & DEVELOPMENT DEPARTMENT/ BUILDING & SAFETY DIVISION
SANTA BARBARA OFFICE: 805.568.3030
SANTA MARIA OFFICE: 805.534.8230

OR REFERENCE WEBSITE: <http://sbcounityplanning.org/building/grading.cfm>

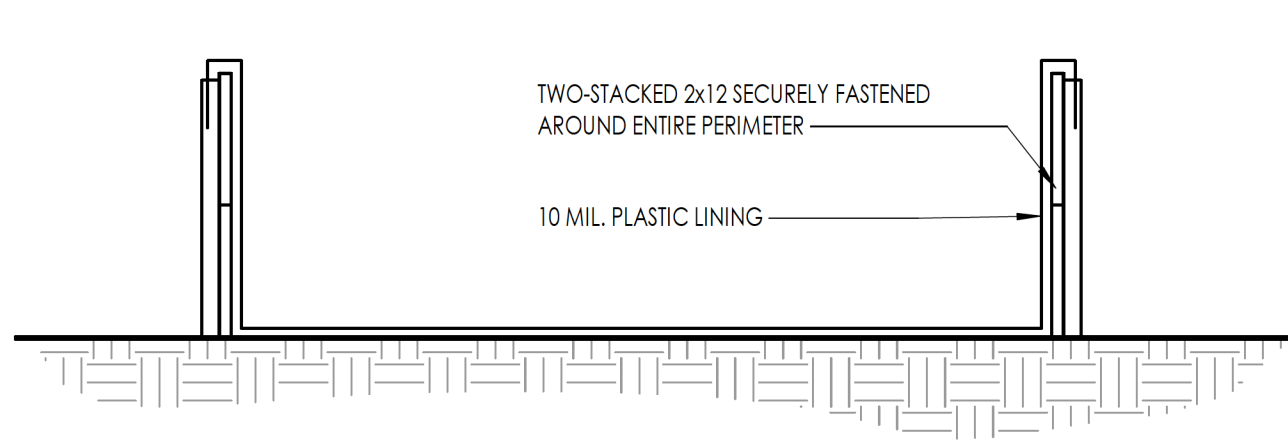
CONCRETE WASHOUT & EXCESS CONSTRUCTION MATERIAL BASIN

NOTE

- ACTUAL LAYOUT TO BE DETERMINED IN THE FIELD
- THE CONCRETE WASHOUT BASIN TO BE INSTALLED WITHIN 10 FEET OF THE TEMPORARY WASHOUT FACILITY

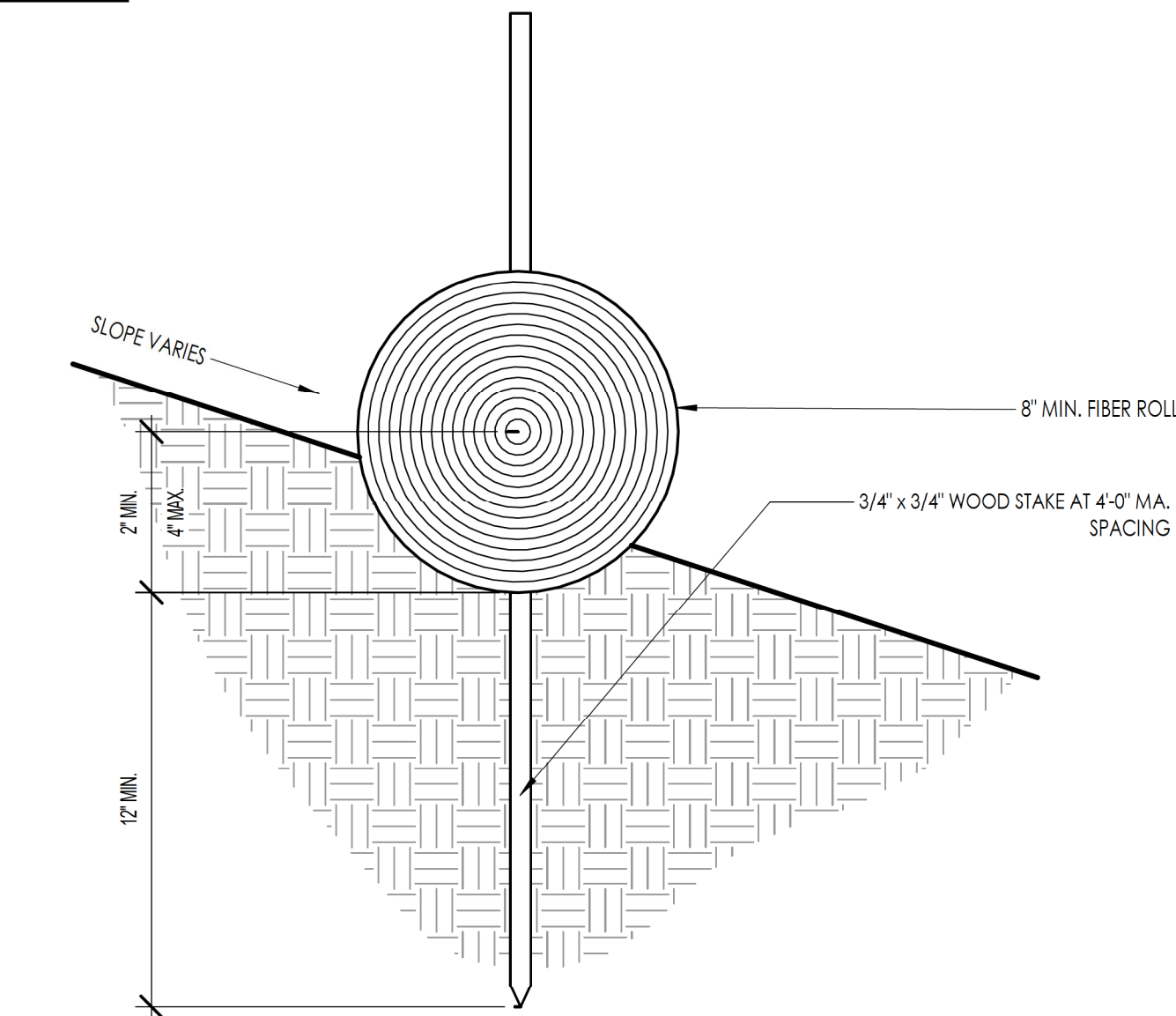


SECTION A-A



SECTION B-B

FIBER ROLLS



CONCRETE WASTE MANAGEMENT

DEFINITION AND PURPOSE

THESE PROCEDURES AND PRACTICES THAT ARE IMPLEMENTED TO MINIMIZE OR ELIMINATE THE DISCHARGE OF CONCRETE WASTE MATERIALS INTO THE STORM DRAIN SYSTEM OR TO WATERCOURSES.

APPROPRIATE APPLICATIONS

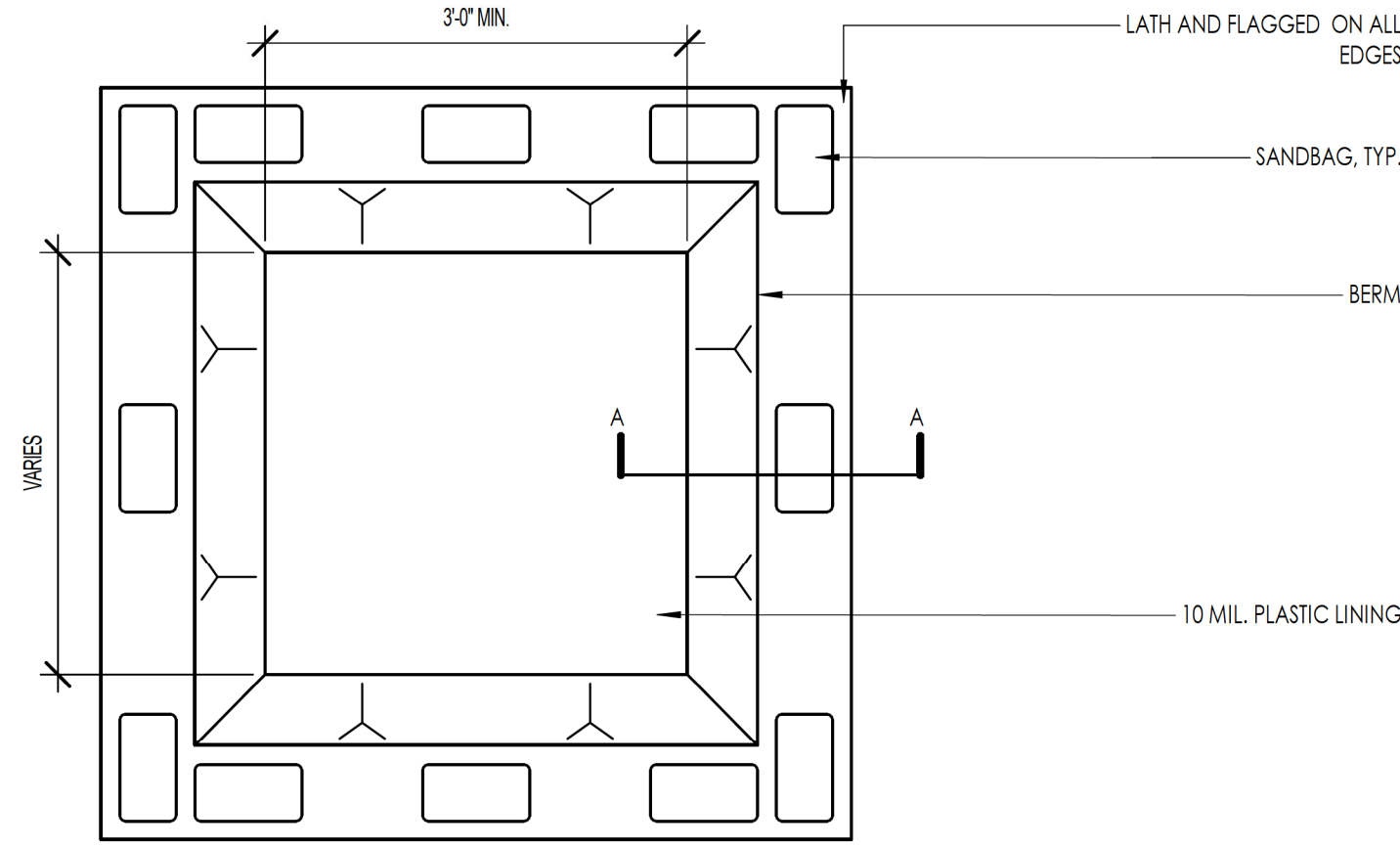
- CONCRETE WASTE MANAGEMENT PRACTICES ARE IMPLEMENTED ON CONSTRUCTION PROJECTS WHERE CONCRETE IS USED AS A CONSTRUCTION MATERIAL OR WHERE CONCRETE DUST AND DEBRIS RESULT FROM DEMOLITION ACTIVITIES
- WHERE SLURRIES CONTAINING PORTLAND CEMENT CONCRETE (PCC) OR ASPHALT CONCRETE (AC) ARE GENERATED, SUCH AS FROM SAWCUTTING, CORING, GRINDING, GROOVING, AND HYDRO-CONCRETE DEMOLITION
- WHERE CONCRETE TRUCKS AND OTHER CONCRETE-COATED EQUIPMENT ARE WASHED ON-SITE, WHEN APPROVED BY THE RESIDENT ENGINEER (RE). SEE ALSO VEHICLE AND EQUIPMENT CLEANING
- WHERE MOTAR-MIXING STATIONS EXISTS.

LIMITATIONS

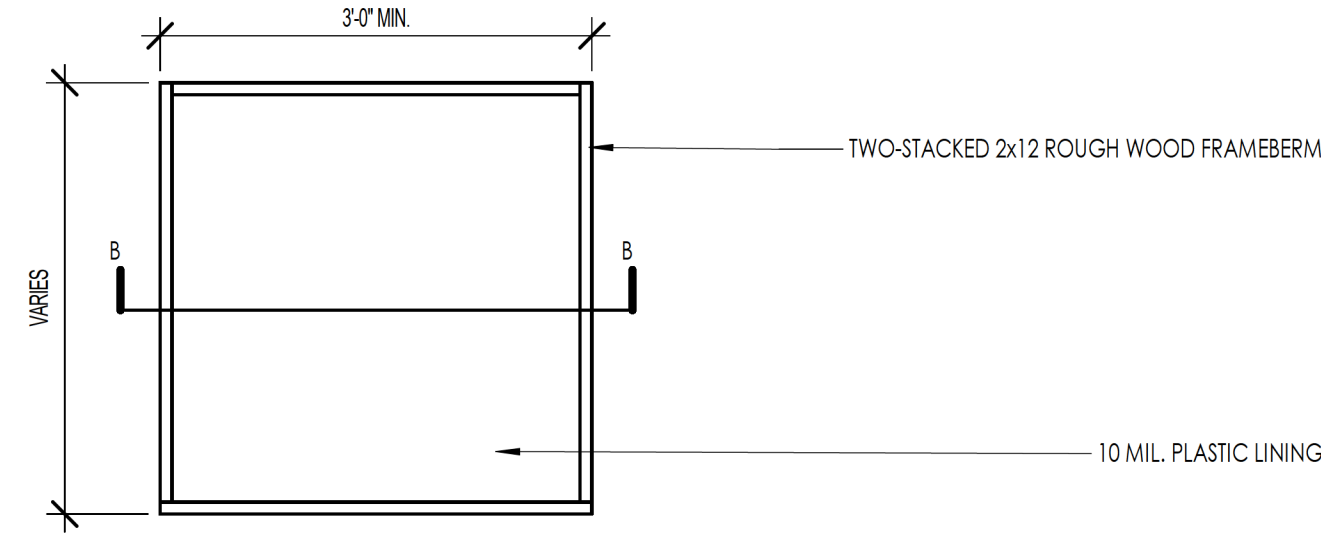
- NONE IDENTIFIED

STANDARDS AND SPECIFICATIONS

- EDUCATE EMPLOYEES, SUBCONTRACTORS, AND SUPPLIERS ON THE CONCRETE WASTE MANAGEMENT TECHNIQUES DESCRIBED ON THIS SHEET
- THE CONTRACTOR'S WATER CONTROL MANAGER (WPCM) SHALL OVERSEE AND ENFORCE CONCRETE WASTE MANAGEMENT PROCEDURES.

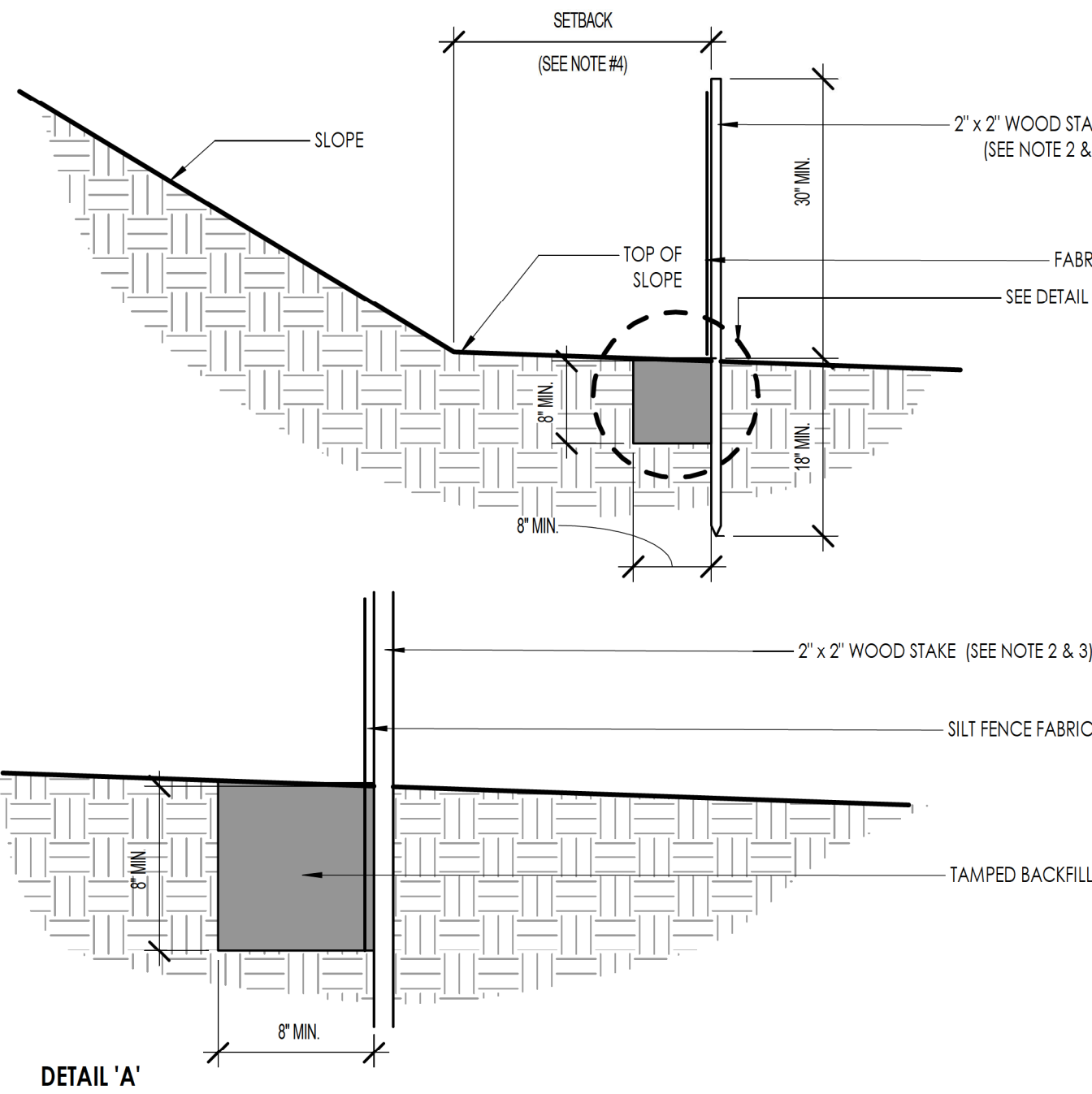


TYPE: BELOW GRADE



TYPE: ABOVE GRADE WITH WOOD PLANKS

SILT FENCE



DETAIL 'A'

GENERAL NOTES

A. GENERAL NOTES

- INTERPRETATION OF DRAWINGS AND DOCUMENTS: EACH CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS AT THE PROJECT SITE BEFORE EXECUTING ANY WORK AND SHALL NOTIFY THE OWNER AND THE DESIGNER OF ANY DISCREPANCIES BEFORE PROCEEDING. THE DESIGNER SHALL BE NOTIFIED OF ANY UNUSUAL OR UNFORESEEN CONDITIONS OR SITUATIONS WHICH MAY AFFECT THE STRUCTURAL INTEGRITY OR SAFETY OF THE PROJECT.
- ADHERENCE TO PLANS: STRICT ADHERENCE TO THE CONSTRUCTION DOCUMENTS MUST BE MAINTAINED. NO CHANGES SHALL BE MADE IN THE PROJECT WHICH DEVIATE FROM THE PLANS AND SPECIFICATIONS WITHOUT THE WRITTEN CONSENT OF THE OWNER. NO STRUCTURAL CHANGES SHALL BE MADE WITHOUT THE WRITTEN CONSENT OF THE DESIGNER.
- WORKING DRAWING: FIGURED DIMENSIONS AND DETAILED DRAWINGS SHALL BE FOLLOWED IN PREFERENCE TO SCALE MEASUREMENTS. IN CASE OF ANY DOUBT ON THE PART OF THE CONTRACTOR AS TO THE EXACT MEANING OF THE DRAWINGS AND THESE SPECIFICATIONS, HE SHALL APPLY TO THE DESIGNER FOR AN INTERPRETATION BEFORE PROCEEDING WITH HIS WORK.
- SHOP DRAWINGS: CONTRACTOR SHALL SUBMIT COPIES OF ALL SHOP DRAWINGS FOR REVIEW BY DESIGNER PRIOR TO CONTRACTOR'S APPROVAL FOR CONSTRUCTION.
- THE CONTRACTOR SHALL PROVIDE ALL SHORING AND BRACING REQUIRED TO PROTECT PERSONNEL AND ADJACENT PROPERTY AND TO INSURE SAFETY OF THE PROJECT WORK.
- WHEREVER IN THESE DRAWINGS ANY MATERIAL OR PROCESS IS INDICATED, IT IS FOR THE PURPOSE OF FACILITATING DESCRIPTION OF THE MATERIAL OR PROCESS DESIRED. THE CONTRACTOR MAY OFFER ANY MATERIAL OR PROCESS WHICH SHALL BE DEEMED EQUIVALENT BY THE ENGINEER AND THE DESIGNER TO THAT MATERIAL OR PROCESS INDICATED OR SPECIFIED.
- UNLESS OTHERWISE SPECIFIED, ALL MATERIALS SHALL BE NEW AND BOTH WORKMANSHIP AND MATERIALS SHALL BE THE BEST OF THEIR RESPECTIVE KINDS. THE CONTRACTOR SHALL, IF REQUIRED, FURNISH SATISFACTORY EVIDENCE AS TO THE KIND AND QUALITY OF MATERIALS.
- IT SHALL BE THE DUTY OF THE GENERAL CONTRACTOR TO SEE THAT ALL SUB-CONTRACTORS ARE FULLY INFORMED IN REGARD TO THE GENERAL CONDITIONS AND PRELIMINARY SPECIFICATIONS.

B. PERMITS AND REGULATIONS

- EACH CONTRACTOR SHALL PAY FOR AND OBTAIN ALL PERMITS REQUIRED BY LOCAL AUTHORITIES BEFORE PROCEEDING WITH THEIR RESPECTIVE INSTALLATION AND SHALL ARRANGE AND PAY FOR ANY INSPECTIONS AND EXAMINATIONS REQUIRED BY THOSE AUTHORITIES.
- ALL WORKMANSHIP AND MATERIALS SHALL CONFORM TO THE CURRENT EDITION OF THE UNIFORM BUILDING CODE, AND LAWS, ORDINANCES AND REGULATIONS OF ALL GOVERNMENTAL BODIES WITH JURISDICTION OVER THE PROJECT.
- IF THE DRAWINGS AND SPECIFICATIONS ARE AT VARIANCE WITH ANY FEDERAL, STATE AND LOCAL OR MUNICIPAL LAW, ORDINANCE, RULES OR DEPARTMENTAL REGULATIONS, THE CONTRACTOR SHALL NOTIFY THE DESIGNER IN WRITING BEFORE PROCEEDING WITH THAT WORK. IF ANY OF THE CONTRACTOR'S WORK SHALL BE DONE CONTRARY THERETO WITHOUT SUCH NOTICE THEY SHALL BEAR ALL COST ARISING THEREFROM.

C. PROTECTION OF WORK & PROPERTY

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL VIOLATIONS OF CITY ORDINANCES AND STATE LAWS INVOLVED IN THE PERFORMANCE OF THEIR WORK. THEY SHALL PROVIDE, DURING THE PROGRESS OF THEIR WORK, EVERY AND ALL SAFEGUARDS AND PROTECTION AGAINST ACCIDENTS, INJURY AND DAMAGE TO PERSONS AND PROPERTY INCLUDING ADJACENT PROPERTY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THEIR WORK AND EVERY PART THEREOF, AND FOR ALL MATERIALS, TOOLS, APPLIANCES AND PROPERTY OF EVERY DESCRIPTION USED IN CONNECTION THEREWITH.
- THE CONTRACTOR ASSUMES ALL RISKS, HAZARDS AND CONDITIONS IN CONNECTION WITH THE PERFORMANCE OF THE CONTRACT.

D. SUPERVISION

- THE CONTRACTOR SHALL GIVE PERSONAL SUPERVISION TO THE WORK, USING THEIR BEST SKILL AND ATTENTION, AND SHALL KEEP A COMPETENT FOREMAN AND NECESSARY ASSISTANTS CONSTANTLY ON THE SITE. THE FOREMAN SHALL BE THE PERSONAL REPRESENTATIVE OF THE CONTRACTOR AND ALL DIRECTIONS GIVEN BY THEM SHALL BE AS BINDING AS IF GIVEN BY THE CONTRACTOR. COMMUNICATION DELIVERED TO THE FOREMAN BY THE DESIGNER SHALL BE AS BINDING AS IF DELIVERED TO THE CONTRACTOR.

E. DAMAGES IN THE WORK

- THE OWNER, WITHOUT INVALIDATING THE CONTRACT, MAY ALTER BY ADDING TO OR DEDUCTING FROM THE WORK COVERED IN THE CONTRACT. ALL SUCH WORK SHALL BE EXECUTED UNDER THE CONDITIONS OF THE ORIGINAL CONTRACT EXCEPT THAT NO EXTRA WORK OR CHANGES SHALL BE DONE WITHOUT WRITTEN ORDER FROM THE OWNER. SUCH ORDERS SHALL COVER THE AGREED PRICE AND TERMS OF EXTRA WORK OR CHANGES, IF WORK IS TO BE OMITTED, THEN PROPER CREDIT FOR SUCH OMITTED WORK SHALL BE GIVEN THE OWNER.

F. CLEANING BUILDING AND PREMISES

- PRIOR TO THE COMPLETION OF THE WORK, THE CONTRACTOR SHALL THOROUGHLY CLEAN THE EXTERIOR AND INTERIOR OF THE BUILDING, INCLUDING FIXTURES, EQUIPMENT, FLOORS AND HARDWARE, REMOVING ALL PLASTER SPOTS, STAINS, PAINT SPOTS AND ACCUMULATED DUST AND DIRT. THIS SHALL INCLUDE THOROUGH CLEANING OF ALL ROOFS, WINDOW SILLS AND LEDGES, HORIZONTAL PROJECTIONS, STEPS, RAILS, SIDEWALKS OR OTHER SURFACES WHERE DEBRIS MAY HAVE COLLECTED. WASH AND POLISH ALL GLASS.

G. GUARANTEES

- EXCEPT AS OTHERWISE SPECIFIED, ALL WORK SHALL BE GUARANTEED IN WRITING BY THE CONTRACTOR AGAINST DEFECTS RESULTING FROM DEFECTIVE MATERIALS, POOR WORKMANSHIP OR FAULTY EQUIPMENT, FOR A PERIOD OF ONE YEAR FROM THE DATE OF FILING THE NOTICE OF COMPLETION AND THE ACCEPTANCE OF THE BUILDING BY THE OWNER. IF WITHIN THE GUARANTEE PERIOD CORRECTION OF FAULTY MATERIALS OR WORKMANSHIP IS NECESSARY, THE CONTRACTOR SHALL PROMPTLY, UPON RECEIPT OF NOTICE FROM THE OWNER AND WITHOUT EXPENSE TO THE OWNER, CORRECT FAULTY MATERIALS OR WORKMANSHIP.

H. VERIFICATION OF UNDERGROUND UTILITY IMPROVEMENTS

- THE GENERAL CONTRACTOR SHALL PROVIDE THE OWNER WITH AN AS-BUILT DRAWING LOCATING AND DESCRIBING ENCOUNTERED UNDERGROUND UTILITIES ON THE SITE.

I. TRANSPORTATION OF EXCAVATED MATERIAL

- THE CONTRACTOR SHALL TRANSPORT ALL EXCAVATED MATERIAL NOT REQUIRED FOR RE-COMPACTION TO AN APPROVED LANDFILL SITE OUTSIDE THE COASTAL ZONE. PROVIDE TRIP TICKETS FOR ALL EXCAVATED MATERIAL REMOVED FROM THE PROJECT.

DUST CONTROL NOTES

- IF THE CONSTRUCTION SITE IS GRADED AND LEFT UNDEVELOPED FOR OVER FOUR WEEKS, THE APPLICANT SHALL EMPLOY THE FOLLOWING METHODS IMMEDIATELY TO INHIBIT DUST GENERATION:

- SEEDING AND WATERING TO REVEGETATE GRADED AREAS, AND/OR
- SPREADING OF SOIL BINDERS, AND/OR
- ANY OTHER METHODS DEEMED APPROPRIATE BY PLANNING AND DEVELOPMENT.

- DUST GENERATED BY THE DEVELOPMENT ACTIVITIES SHALL BE KEPT TO A MINIMUM WITH A GOAL OF RETAINING DUST ON THE SITE. FOLLOW THE DUST CONTROL MEASURES LISTED BELOW.

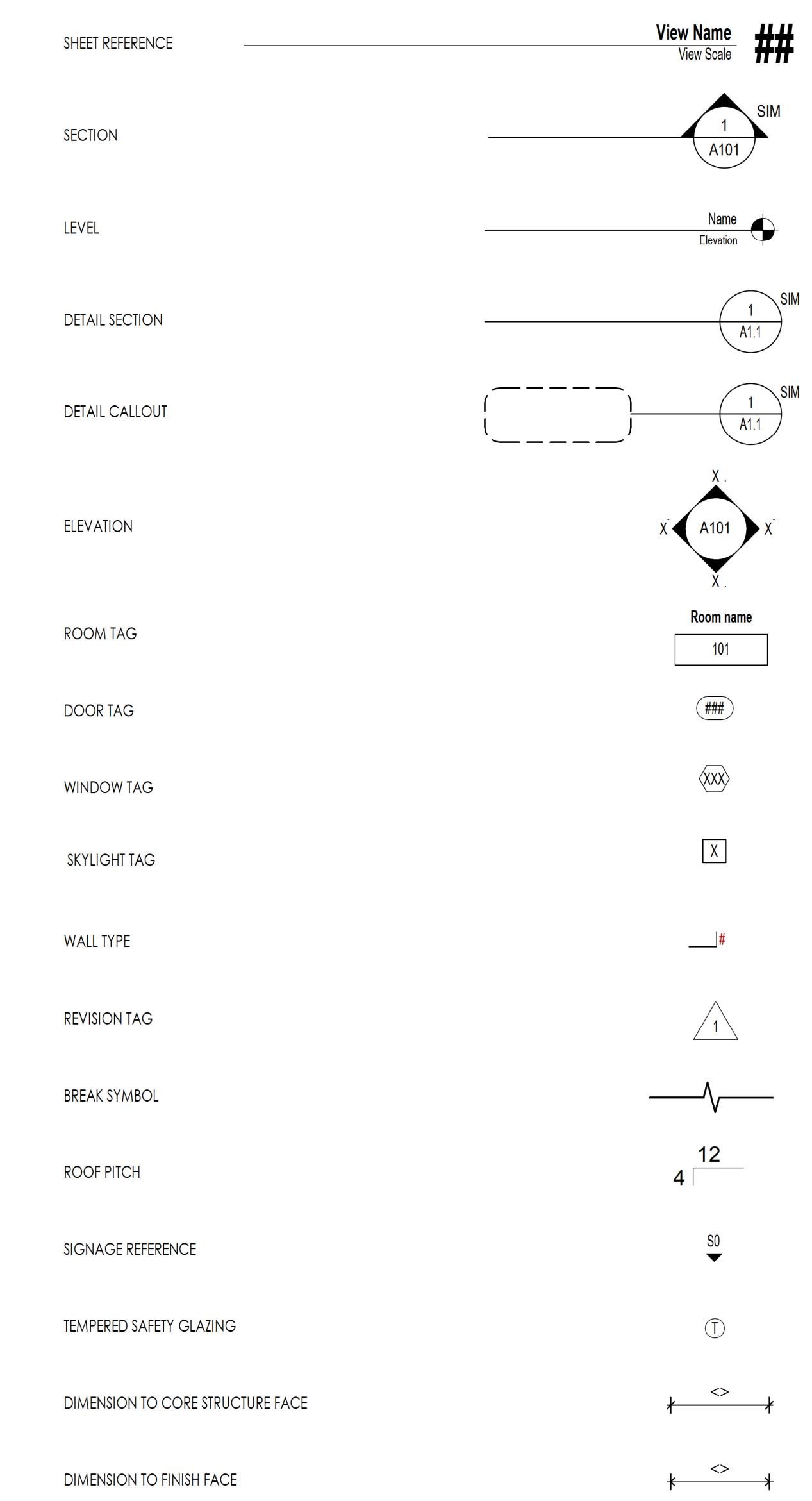
- DURING CLEARING, GRADING, EARTH MOVING, EXCAVATION, OR TRANSPORTATION OF CUT OR FILL MATERS, WATER TRUCKS OR SPRINKLER SYSTEMS ARE TO BE USED TO PREVENT DUST FROM LEAVING THE SITE AND TO CREATE A CRUST AFTER EACH DAY'S ACTIVITIES CEASE.
- DURING CONSTRUCTION, WATER TRUCKS OR SPRINKLER SYSTEMS SHALL BE USED TO KEEP ALL AREAS OF VEHICLE MOVEMENT DAMP ENOUGH TO PREVENT DUST FROM LEAVING THE SITE. AT A MINIMUM, THIS WOULD INCLUDE WETTING DOWN SUCH AREAS IN THE LATER MORNING AND AFTER WORK IS COMPLETED FOR THE DAY AND WHENEVER WIND EXCEEDS 15 MPH PER HOUR.
- SOLID STOCKPILED FOR MORE THAN TWO DAYS SHALL BE COVERED, KEPT MOIST, OR TREATED WITH SOIL BINDERS TO PREVENT DUST GENERATION.

BEST MANAGEMENT PRACTICES

BEST MANAGEMENT PRACTICES FOR CONSTRUCTION ACTIVITIES:

- STOCKPILES OF EARTH, SAND AND OTEHR CONSTRUCTION RELATED MATERIALS MUST BE PROTECTED FROM BEING TRANSPORTED FROM THE SITE BY THE FORCES OF WIND OR WATER. THIS INCLUDES SAND FOR STUCCO, DRYWALL, DEMOLITION DEBRIS, DRYWALL MUD/ PACKAGING, ETC.
- FUELS, OILS, SOLVENTS AND OTHER TOXIC MATERIALS MUST BE STORED IN ACCORDANCE WITH THEIR LISTING AND ARE NOT TO CONTAMINATE THE SOILS AND SURFACE WATERS. ALL APPROVED STORAGE CONTAINERS ARE TO BE PROTECTED FROM THE WEATHER. SPILLS MAY NOT BE WASHED INTO THE DRAINAGE SYSTEM.
- NON-STORM WATER RUNOFF FROM EQUIPMENT AND VEHICLE WASHING AND ANY OTHER ACTIVITY SHALL BE CONTAINED AT THE SITE.
- EXCESS OR WASTE CONCRETE MAY NOT BE WASHED INTO THE PUBLIC WAY OR ANY OTHER DRAINAGE SYSTEM. PROVISIONS MUST BE MADE TO RETAIN CONCRETE WASTES ON SITE UNTIL THEY CAN BE DISPOSED OF AS A SOLID WASTE.
- TRASH AND CONSTRUCTION RELATED SOLID WASTES MUST BE DEPOSITED INTO A COVERED RECEPTACLE TO PREVENT CONTAMINATION OF RAINWATER AND DISPERSAL BY WIND.
- SEDIMENTS AND OTHER MATERIAL MAY NOT BE TRACED FROM THE SITE BY VEHICLE TRAFFIC. THE CONSTRUCTION ENTRANCE ROADWAYS MUST BE STABILIZED SO AS TO INHIBIT SEDIMENTS FROM BEING DEPOSITED INTO THE PUBLIC WAY. ACCIDENTAL DEPOSITIONS MUST BE SWEEP UP IMMEDIATELY AND MAY NOT BE WASHED DOWN BY RAIN OR OTHER MEANS.

SYMBOLS



ABBREVIATIONS

| | | | |
|---------|--------------------|-------------------------|-------------------------|
| (E) | EXISTING | MFR | MANUFACTURER |
| (N) | NEW | MIN. | MINIMUM |
| A.F.F. | ABOVE FINISH FLOOR | MTL | METAL |
| ALUM | ALUMINUM | NOT IN CONTRACT | NOT IN CONTRACT |
| ARCH. | ARCHITECT | O.F. | OWNER FURNISHED / |
| BD | BOARD | OF/CI | CONTRACTOR INSTALLED |
| B.LDG. | BUILDING | OF/OI | OWNER FURNISHED / |
| B.O. | BOTTOM OF | | OWNER INSTALLED |
| BLKG. | BLOCKING | OPG. | OPENING |
| B.U.R. | BUILT-UP ROOFING | OPF. | OPPOSITE |
| CAB. | CABINET | P.LAM. | PLASTIC LAMINATE |
| C.B. | CATCH BASIN | PL/WD | PLYWOOD |
| C.L. | CENTER LINE | PL | PLATE |
| CLG. | CEILING | P.L. | PROPERTY LINE |
| CJ. | CONTROL JOINT | PR. | PAPER |
| COL. | COLUMN | P.T. | PRESSURE TREATED |
| COMM. | COMMUNICATION | R. | RISER |
| CONC. | CONCRETE | REF. | REFER TO REFERENCE |
| CONST. | CONSTRUCTION | REFR. | REFRIGERATOR |
| CONT. | CONTINUOUS | REQD. | REQUIRED |
| C.T. | CERAMIC TILE | RESIL. | RESILIENT |
| CTR. | COUNTER | RET. | RETAINING |
| CTR/SK. | COUNTERSINK | R.O. | ROUGH OPENING |
| DBL. | DOUBLE | R.O.W. | RIGHT OF WAY |
| DRWG. | DRAWING | RWL. | RAINWATER LEADER |
| EIFS. | EXTERIOR INSULATED | SBR. | SEALANT & BACKER ROD |
| | | S.D. | STORM DRAIN |
| EL. | ELEVATION | S.F. | STOREFRONT |
| ELEC. | ELECTRICAL | SIM. | SIMILAR |
| ELEV. | ELEVATOR | S.M.H. | SEWER MANHOLE |
| EQUIP. | EQUIPMENT | SPEC. | SPECIFICATIONS |
| EXT. | EXTERIOR | SEE STRUCTURAL DRAWINGS | SEE STRUCTURAL DRAWINGS |
| F.A. | FIRE ALARM | STR. | STRUCTURAL |
| F.E. | FIRE EXTINGUISHER | SUBFLR. | SUBFLOOR |
| FDN. | FOUNDATION | T. | TREAD |
| FIXT. | FIXTURE | T.O. | TOP OF |
| FIN. | FINISH | T.O.P. | TOP OF PLATE |
| FLASH. | FLASHING | T.O.S. | TOP OF SLAB |
| FLR. | FLOOR | T.O.W. | TOP OF WALL |
| F.O.F. | FACE OF FINISH | TYP. | TYPICAL |
| F.O.S. | FACE OF STUD | U.O.N. | UNLESS OTHERWISE NOTED |
| GA. | GAUGE | W. | WIDTH |
| GRADE. | GRADE | W. | WITH |
| GWSB. | GYPSUM WALL BOARD | | |
| HDS. | HARDSCAPE | | |
| MAX. | MAXIMUM | | |
| MED. | MEDICINE | | |

2200 CARLTON

2200 CARLTON WAY
SANTA BARBARA, CA 93109

Designer:

EVOKE DESIGN STUDIO
P.O. BOX 1104 SANTA BARBARA, CA 93102 (805) 837-0097

Client

NICK MASON
2200 CARLTON WAY
SANTA BARBARA, CA

CDP SUBMITAL

DRAWING REVISION

| NO. | DESCRIPTION | DATE |
|-----|-------------|------|
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |

THIS DRAWING TO BE READ IN CONJUNCTION WITH ALL RELATED DRAWINGS. DO NOT SCALE FROM THIS DRAWING. EVOKE DESIGN IS TO BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCY. THIS DRAWING IS COPYRIGHT AND REMAINS THE PROPERTY OF EVOKE DESIGN.

GENERAL NOTES/SYMBOLS

A002

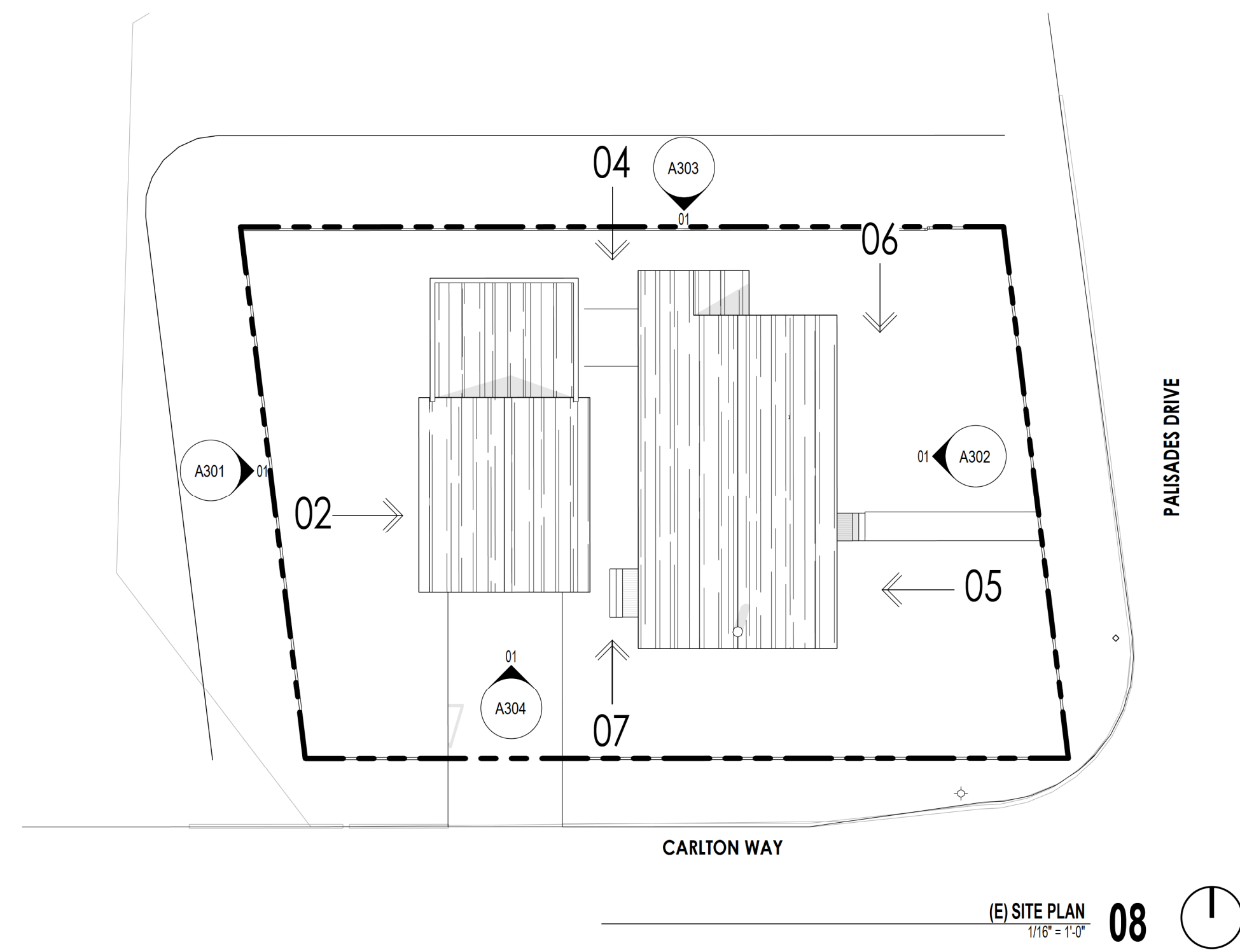
2200 CARLTON

2200 CARLTON WAY
SANTA BARBARA, CA 93109

Designer:



P.O. BOX 1104 SANTA BARBARA, CA 93102 (805) 837-0009



(E) SITE PLAN
1/16" = 1'-0" **08**



AERIAL VIEW OF SITE (LOOKING NORTH) **03**



WEST ELEVATION FROM CARLTON WAY **07**



EAST ELEVATION FROM PALISANDES DR. **05**



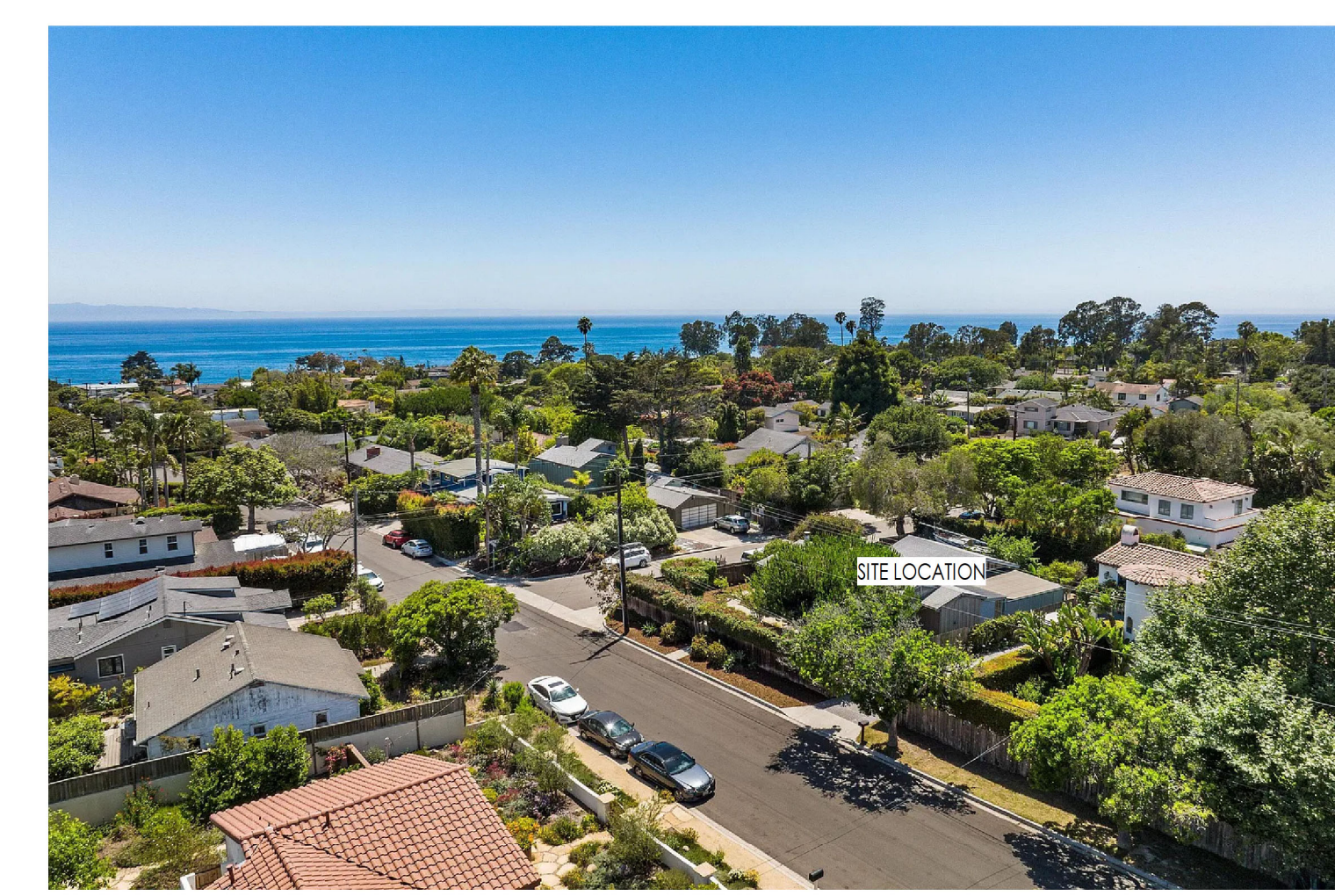
EAST ELEVATION SETBACK VIEW **02**



VIEW FROM SITE LOOKING WEST **06**



VIEW FROM SITE LOOKING WEST VIEW 2 **04**



BIRDVIEW LOOKING NORTHWEST | SITE LOCATION **01**

Client
NICK MASON
2200 CARLTON WAY
SANTA BARBARA, CA

CDP SUBMITTAL

DRAWING REVISION
NO. DESCRIPTION DATE

| NO. | DESCRIPTION | DATE |
|-----|-------------|------|
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |

THIS DRAWING TO BE READ IN CONJUNCTION WITH ALL RELATED DRAWINGS. DO NOT SCALE FROM THIS DRAWING. EVOKE DESIGN IS TO BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCY. THIS DRAWING IS COPYRIGHTED AND REMAINS THE PROPERTY OF EVOKE DESIGN.

SITE PHOTOS

9/9/2024 3:54:03 PM

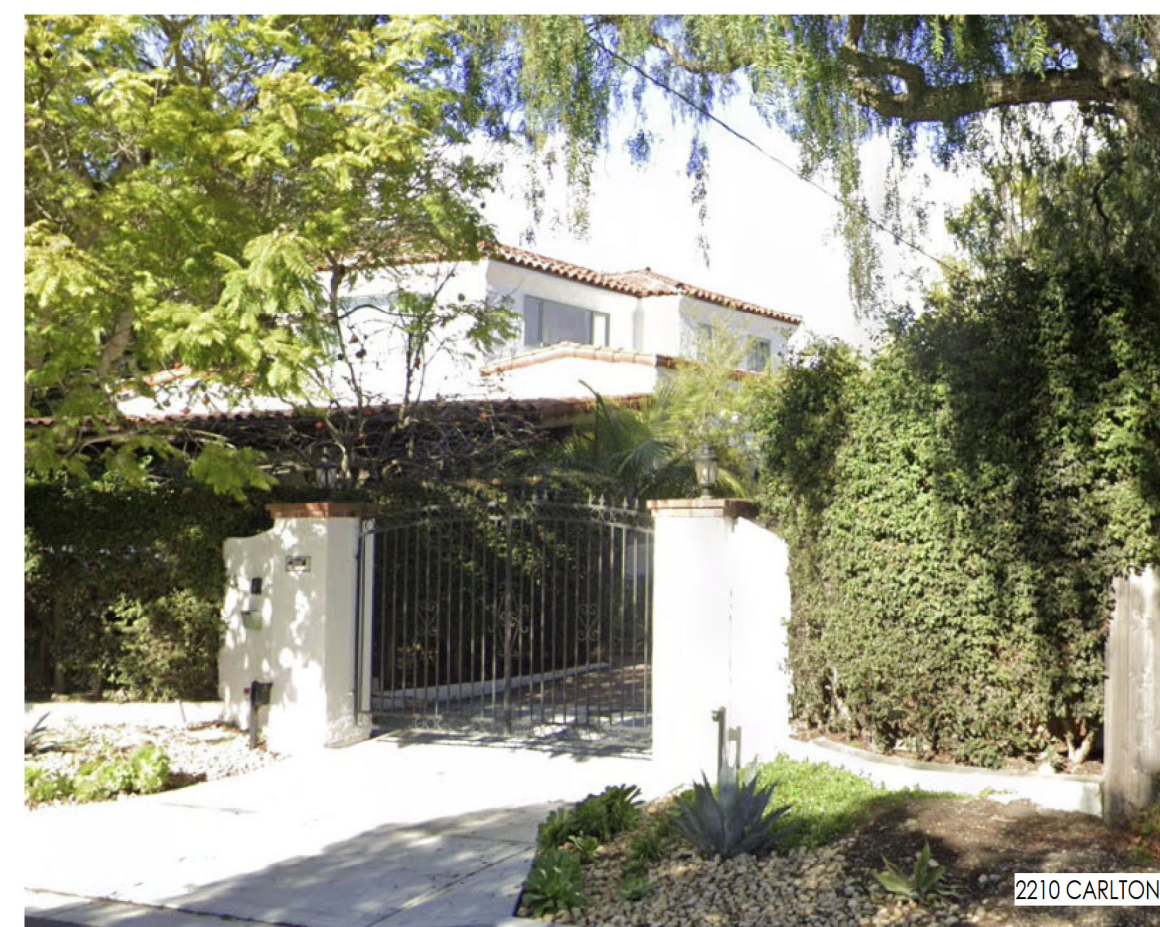
2200 CARLTON

2200 CARLTON WAY
SANTA BARBARA, CA 93109

Designer:



P.O. BOX 1104 SANTA BARBARA, CA 93102 (805) 837-0009



Client
NICK MASON
2200 CARLTON WAY
SANTA BARBARA, CA

CDP SUBMITTAL

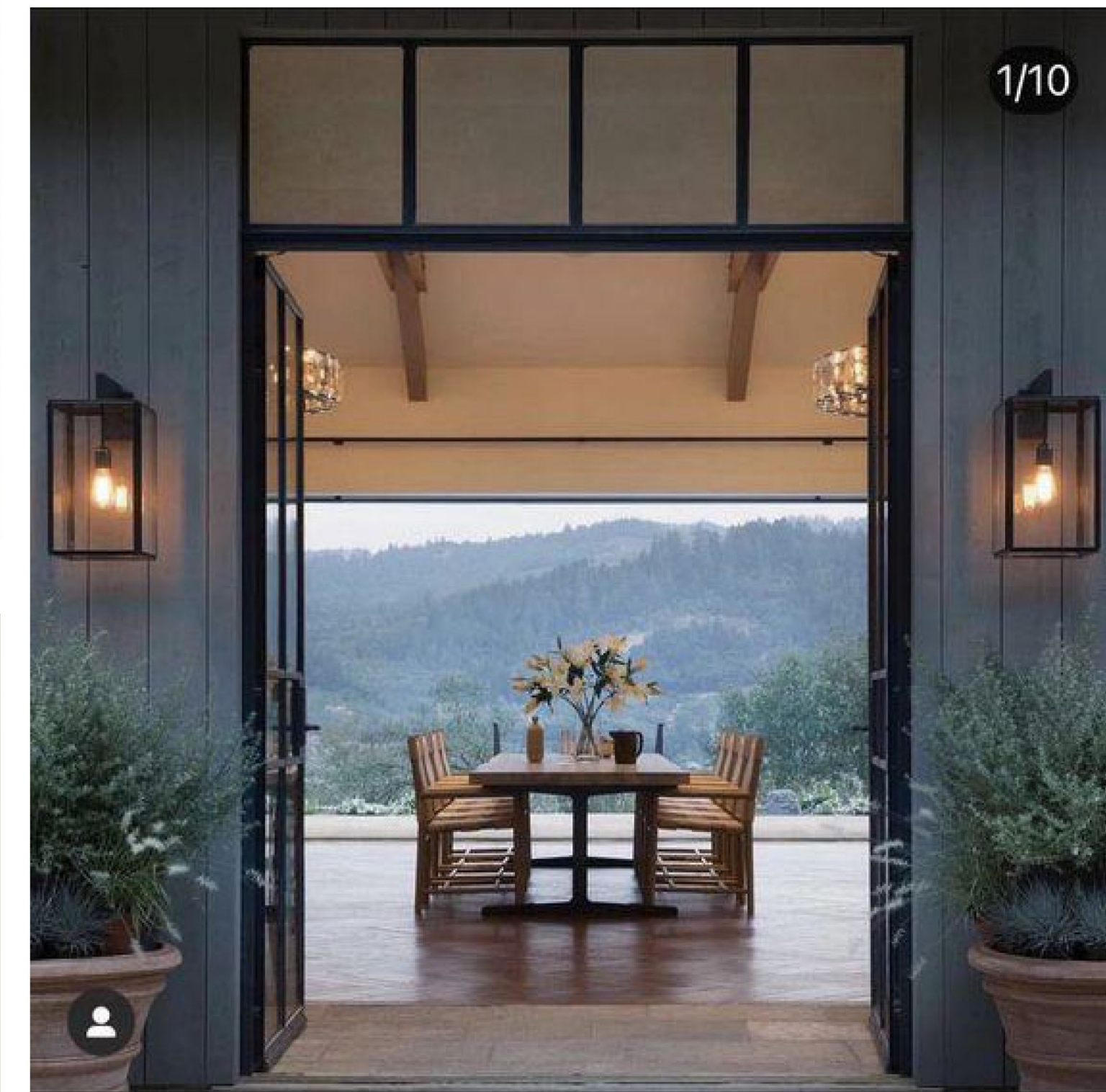
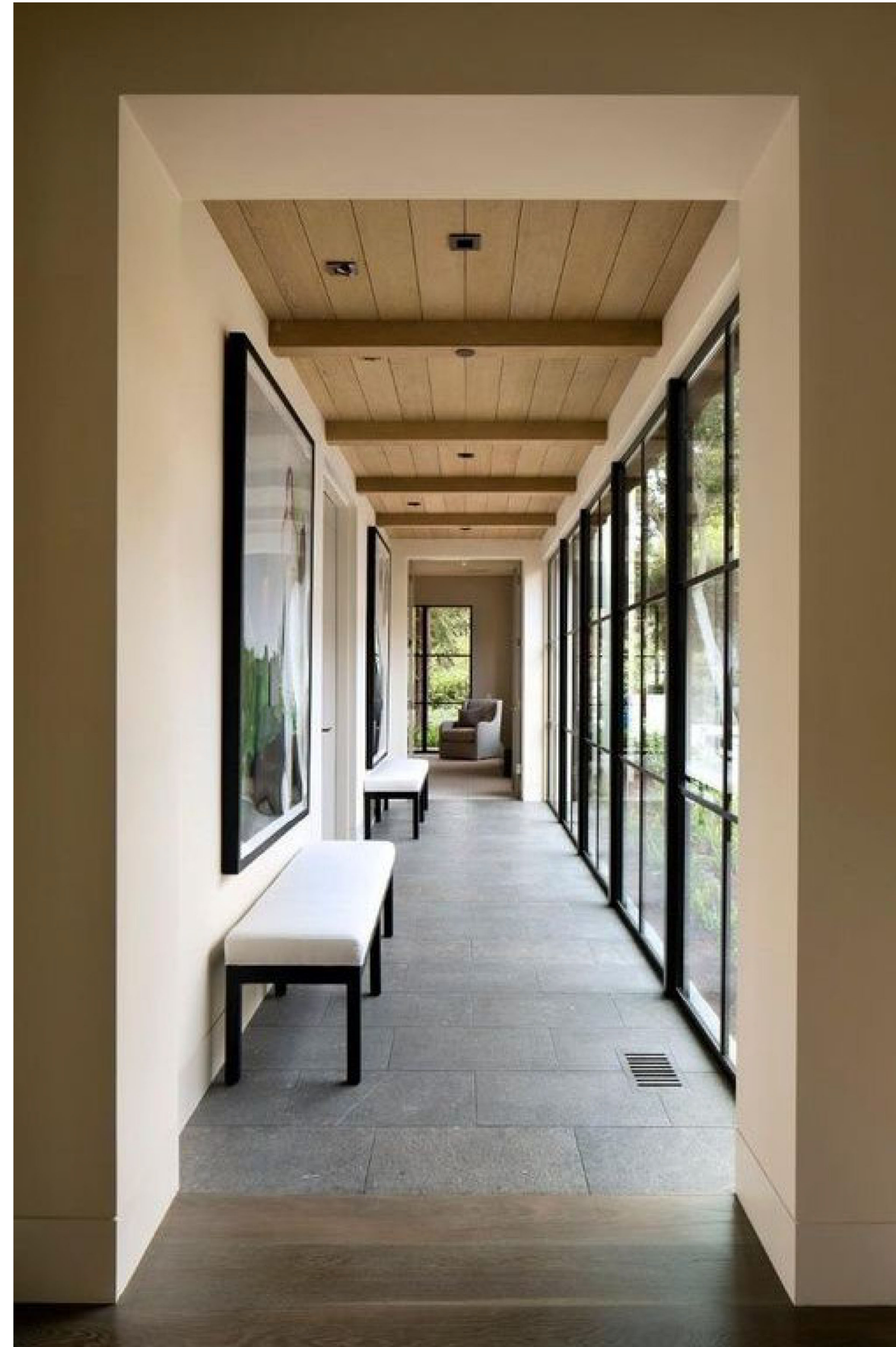
DRAWING REVISION
NO. DESCRIPTION DATE

| NO. | DESCRIPTION | DATE |
|-----|-------------|------|
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |

THIS DRAWING TO BE READ IN CONJUNCTION WITH ALL RELATED DRAWINGS. DO NOT SCALE FROM THIS DRAWING. EVOKE DESIGN IS TO BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCY. THIS DRAWING IS COPYRIGHTED AND REMAINS THE PROPERTY OF EVOKE DESIGN.

**NEIGHBOR CONTEXT/
TWO-STORY EXHIBIT**

9/9/2024 3:54:06 PM



Client
 NICK MASON
 2200 CARLTON WAY
 SANTA BARBARA, CA

CDP SUBMITTAL

| NO. | DESCRIPTION | DATE |
|-----|-------------|------|
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |

THIS DRAWING TO BE READ IN CONJUNCTION WITH ALL RELATED DRAWINGS. DO NOT SCALE FROM THIS DRAWING. EVOKE DESIGN IS TO BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCY. THIS DRAWING IS COPYRIGHTED AND REMAINS THE PROPERTY OF EVOKE DESIGN.

INSPIRATION IMAGES

A008

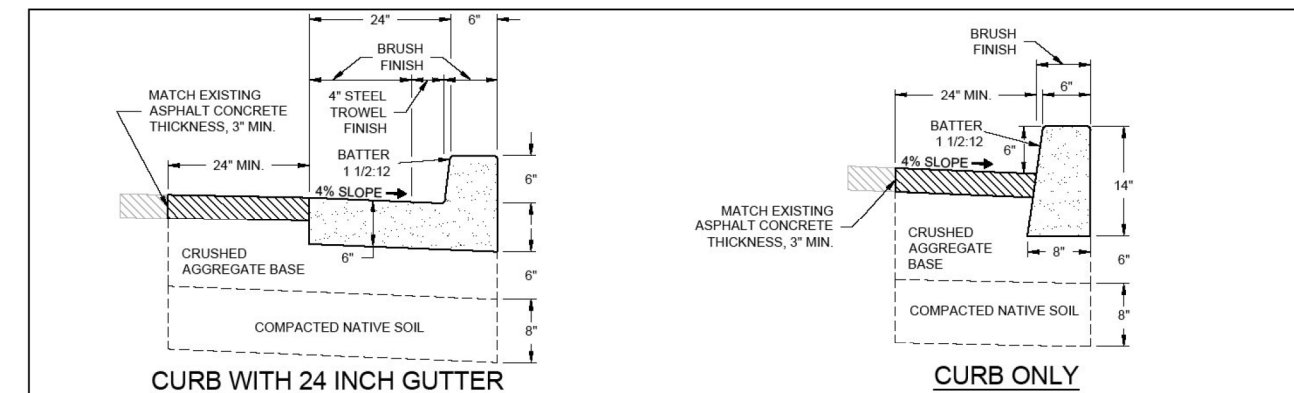
9/9/2024 3:54:07 PM

- GENERAL CONCRETE NOTES:**
- Improvements constructed under this Standard shall conform to applicable provisions of the Standard Specifications for Public Works Construction (latest edition of Green Book).
 - Concrete shall be minimum of 5000-C-2500 or greater where specified, per Standard Specifications for Public Works Construction (Greenbook).
 - Concrete shall have a light broom finish, except as noted. Broom direction shall be perpendicular to path of travel. All exposed edges shall be tool finished with a 1/2 inch radius.
 - Compact native soil 6 inches deep to 90% relative compaction. Under all concrete improvements except sidewalk, place crushed aggregate base 6 inches compacted to 95% relative compaction before placing concrete. Under sidewalk, place minimum of 4" crushed aggregate base compacted to 95% relative compaction. At City Engineer or designer's discretion, 2" of sand may be allowed under sidewalk in place of crushed aggregate base. Crushed miscellaneous base may be substituted for crushed aggregate base at City Engineer or designer's discretion.
 - Clear drying fugitive dye curing compound shall be applied to all exposed concrete surfaces immediately after finishing.
 - Calcium chloride shall not be added to concrete unless approved by the City Engineer or designer.
 - Sawcut and remove a 24" minimum width or more of existing asphalt concrete pavement adjacent to all new concrete as directed by the City Engineer or designer. After constructing new concrete, replace pavement with asphalt concrete and aggregate base to match existing, overlaid with 2 inch minimum asphalt concrete. Tack coat all vertical surfaces with SS-1h emulsion where asphalt is to be placed.
 - All concrete shall be placed within forms except where it is poured directly against existing sawcut concrete.
 - Survey monuments within the limits of work shall be referenced, tied out, and have a corner record filed prior to construction by a licensed land surveyor. Monuments lost or disturbed shall be replaced and have a corner record filed by a licensed land surveyor or civil engineer in accordance with the State of California Professional Land Surveyors' Act, Section 8771.
 - Asphalt concrete shall be laid in courses not exceeding 4 inches in thickness. Asphalt concrete shall be Class C2 Grade PG 64-10 for finish courses, Class D1 Grade PG 64-10 for leveling courses, and Class B Grade PG 64-10 for base courses.
 - State Street brick paver sidewalks from Cabrillo Blvd. to Victoria Street shall be a Pacific Clay Bear Path Red Flashed paver. Contact the City Engineer or designer for details.

GENERAL CONCRETE NOTES

REV. DATE: 12/23 | DETAIL: H-01.0

APPROVED: *[Signature]*
CITY ENGINEER
12/20/23

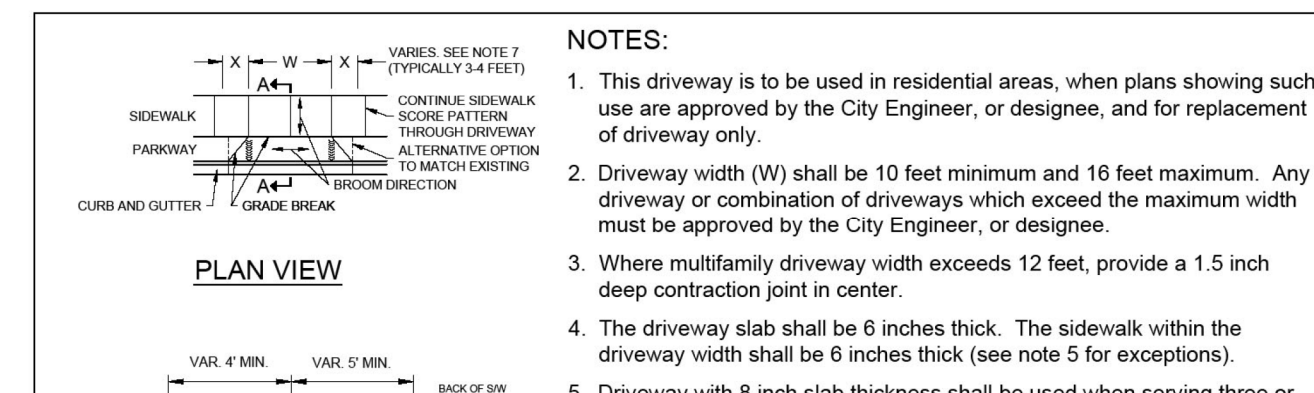


- STANDARD NOTES:**
- All curbs and gutters shall be placed monolithically.
 - Premolded 0.25 inch thick expansion joints shall be placed at the ends of curb returns. Provide 1.5 inch deep contraction joints in all curb and gutter at approximately 10 foot intervals to match score marks in existing sidewalk.
 - The top edge of curb, the gutter flow line and the gutter edge shall have 0.5 inch radius, unless otherwise noted.
 - Minimum 6 inch coupled aggregate base under curb and gutter to 95% relative compaction.
 - Compact native soil to a depth of 6 inches beneath aggregate base below curb and gutter, to 90% relative compaction.
 - Standard curb and gutter shall be used for all new construction unless other types are approved by the City Engineer.
 - Cuts in existing curbs and gutters shall be made at right angles to the face of the curb. Remove and replace concrete curbs and gutters to the nearest score line outside the excavation area.
 - Where existing curb height varies, match existing or adjacent curb for short reaches.
 - Extruded or slip-formed curb and gutters is not permitted.
 - Where a curb comes to an end, taper the curb down to the gutter at a 1:1 slope.

CURB AND GUTTER STANDARD & FAUX SANDSTONE

REV. DATE: 12/23 | DETAIL: H-02.0

APPROVED: *[Signature]*
CITY ENGINEER
12/20/23

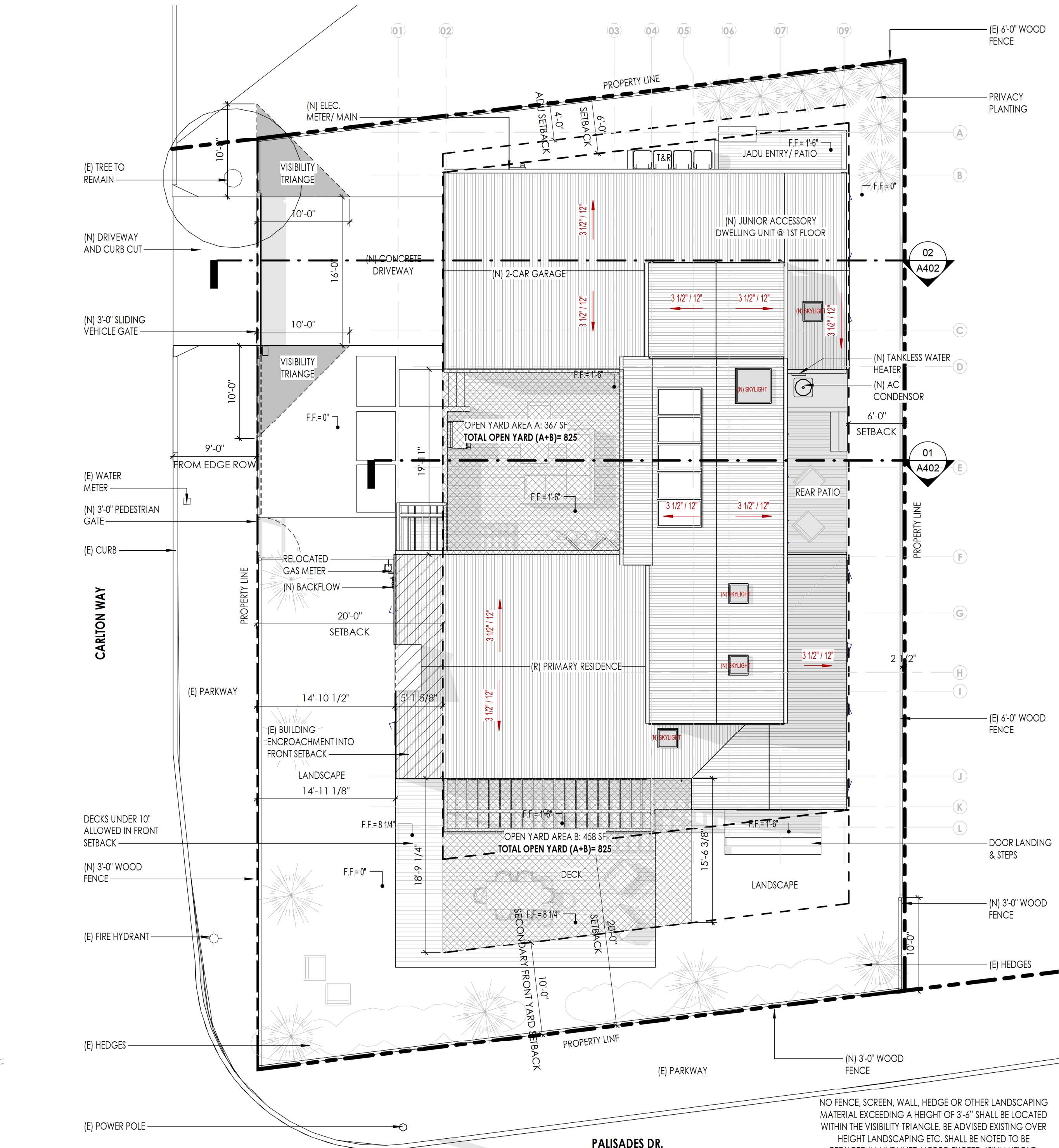
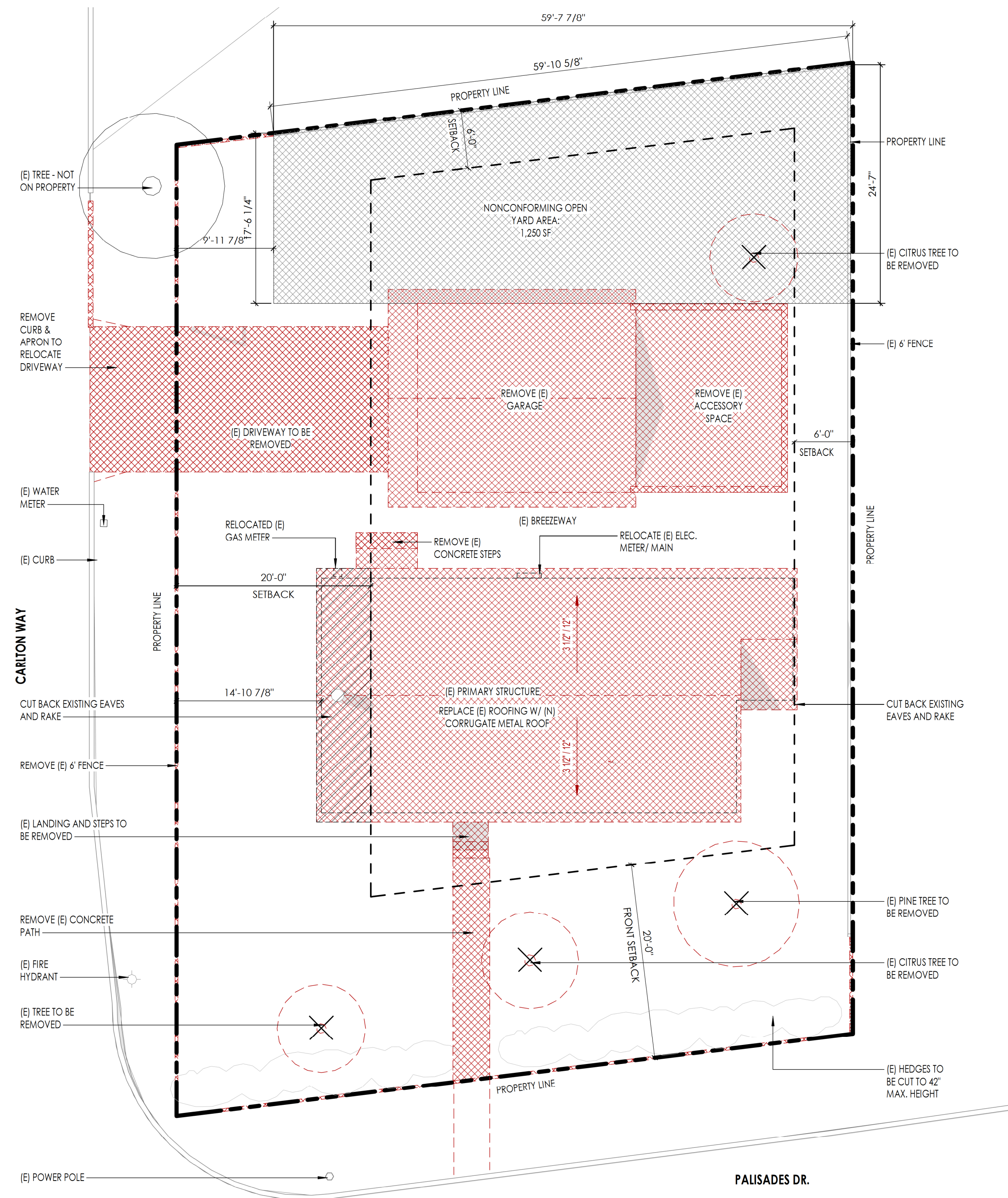


- NOTES:**
- This driveway is to be used in residential areas, when plans showing such use are approved by the City Engineer, or designer, and for replacement of driveway only.
 - Driveway width (W) shall be 10 feet minimum and 16 feet maximum. Any driveway or combination of driveways which exceed the maximum width must be approved by the City Engineer, or designer.
 - Where multifamily driveway width exceeds 12 feet, provide a 1.5 inch deep contraction joint in center.
 - The driveway slab shall be 6 inches thick. The sidewalk within the driveway width shall be 6 inches thick (see note 5 for exceptions).
 - Driveway with 6 inch slab thickness shall be used when serving three or more residences, or when plans showing such use are approved by the City Engineer or designer.
 - Gutter width shall match adjacent gutter.
 - Flare width (X) shall be 1 foot for each 2 inches of curb height.
 - Where existing gutter has been overlaid, and a new driveway is being installed, the new gutter shall be installed to match existing gutter. Asphalt concrete shall be placed over the new gutter to the grade of the existing pavement.
 - Driveway approach consists of gutter, ramp, flares, and sidewalk portions, placed monolithically.
 - See detail H-06.0 for sidewalk.
 - Where existing gutter exceed 3 feet, and concrete is in good condition, an 18" cut into existing gutter may be made if approved by City Inspector.
 - Provide a minimum 5' wide sidewalk across driveway, or as approved by City Engineer, at 1.5% slope.

RESIDENTIAL DRIVEWAY

REV. DATE: 12/23 | DETAIL: H-03.0

APPROVED: *[Signature]*
CITY ENGINEER
12/20/23



(E) SITE PLAN 02

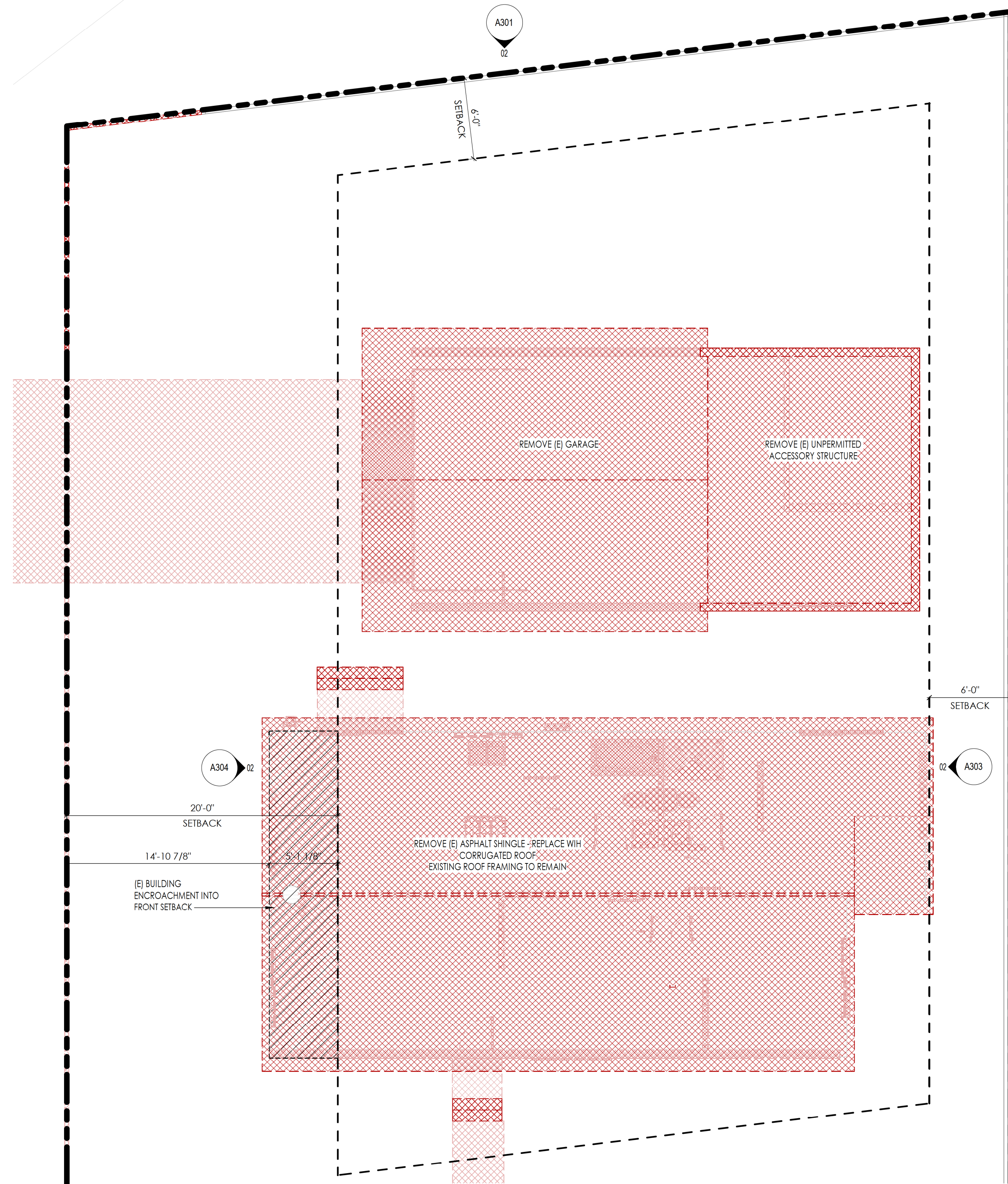
(N) SITE PLAN 01

Client
NICK MASON
2200 CARLTON WAY
SANTA BARBARA, CA

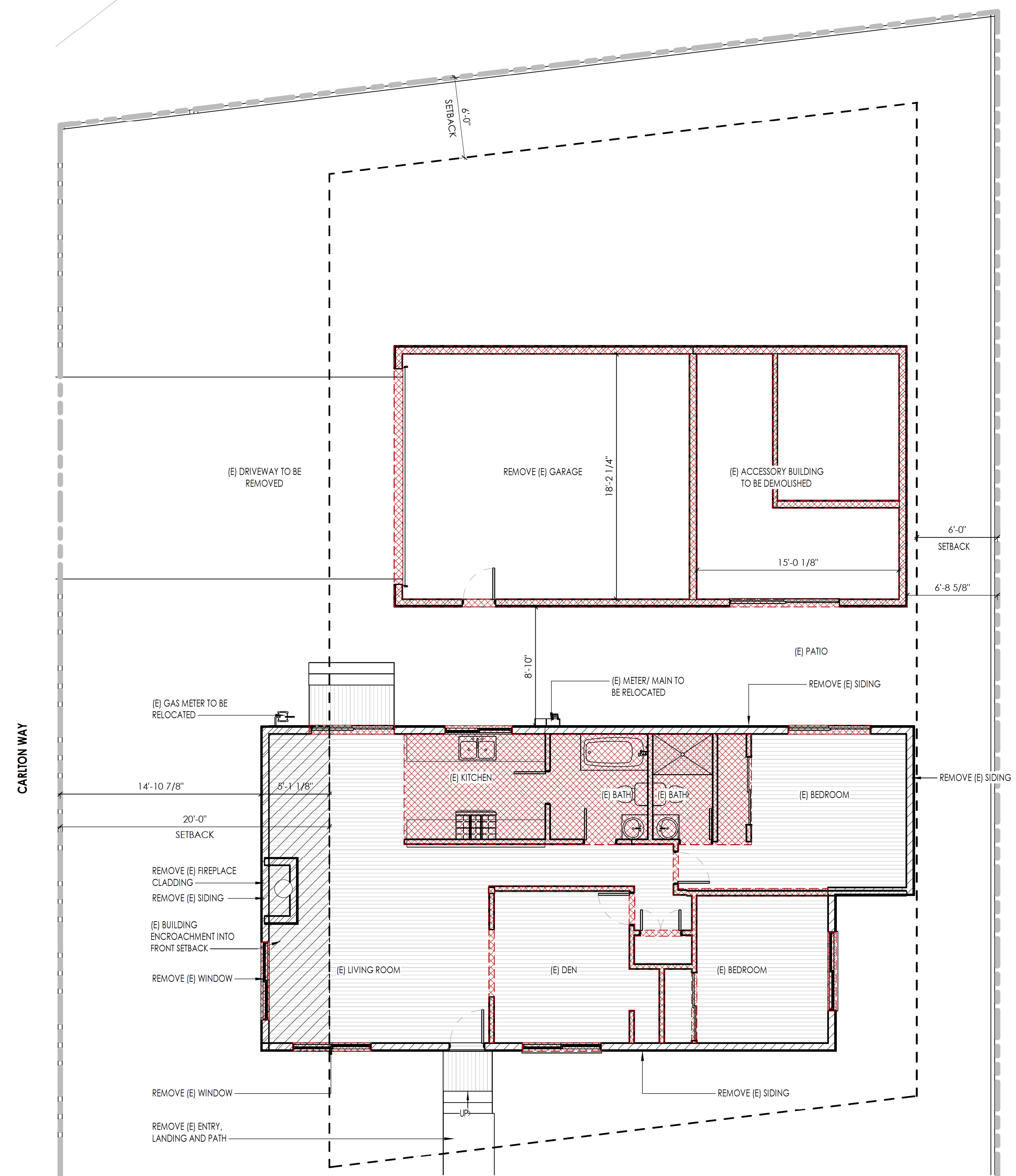
CDP SUBMITTAL

| DRAWING REVISION NO. | DESCRIPTION | DATE |
|----------------------|-------------|------|
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |

THIS DRAWING TO BE READ IN CONJUNCTION WITH ALL RELATED DRAWINGS. DO NOT SCALE FROM THIS DRAWING. EVOKE DESIGN IS TO BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCY. THIS DRAWING IS COPYRIGHTED AND REMAINS THE PROPERTY OF EVOKE DESIGN.



ROOF PLAN 02
3/16" = 1'-0"



EXISTING FLOOR PLAN 01
3/16" = 1'-0"

Client
NICK MASON
2200 CARLTON WAY
SANTA BARBARA, CA

CDP SUBMITTAL

DRAWING REVISION

| NO. | DESCRIPTION | DATE |
|-----|-------------|------|
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |

THIS DRAWING TO BE READ IN CONJUNCTION WITH ALL RELATED DRAWINGS. DO NOT SCALE FROM THIS DRAWING. EVOKE DESIGN IS TO BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCY. THIS DRAWING IS COPYRIGHT AND REMAINS THE PROPERTY OF EVOKE DESIGN.

EXISTING FLOOR PLAN

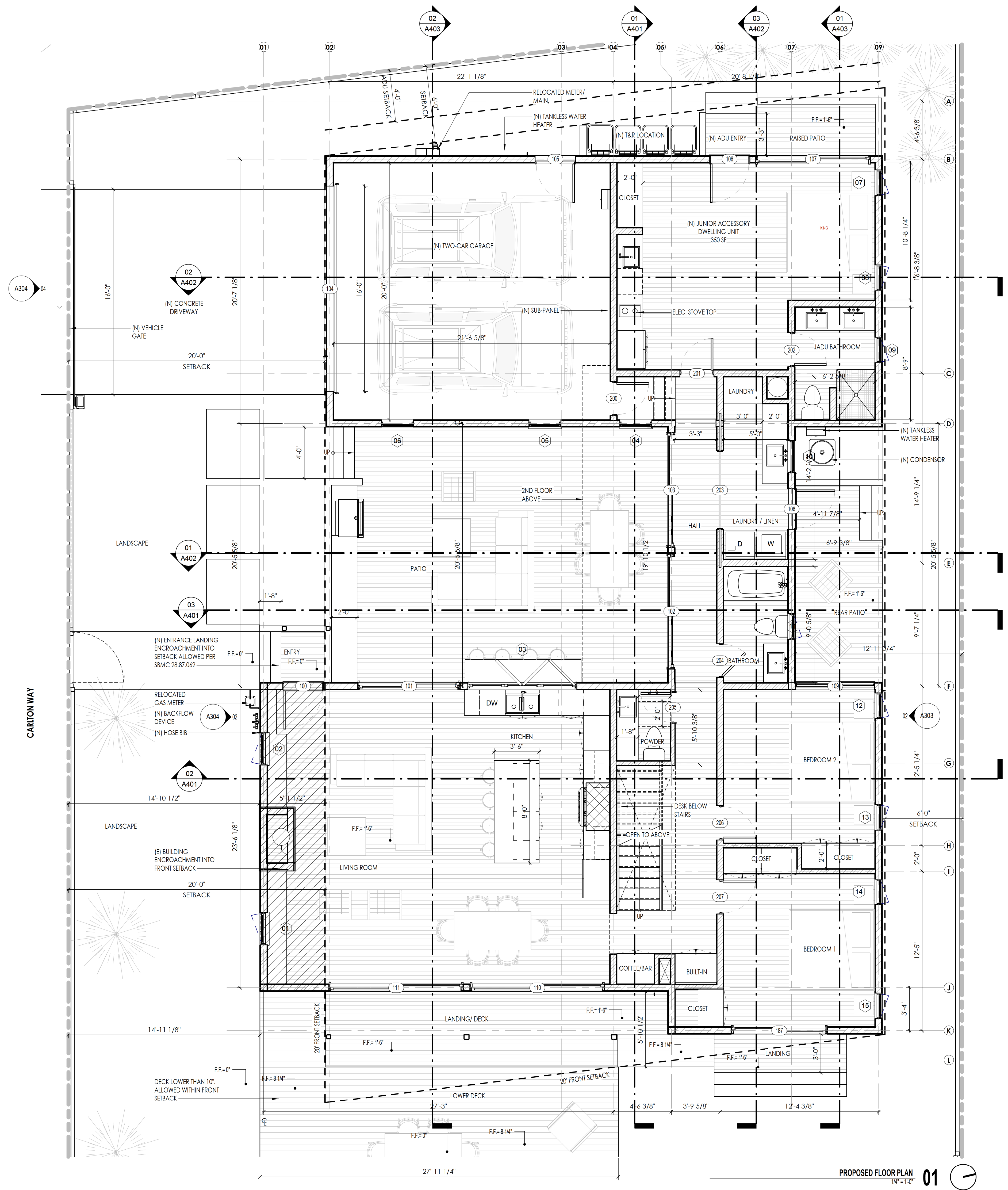
9/9/2024 3:54:14 PM

2200 CARLTON

2200 CARLTON WAY
SANTA BARBARA, CA 93109



P.O. BOX 1104 SANTA BARBARA, CA 93102 (805) 837-0009



PROPOSED FLOOR PLAN 01

9/9/2024 3:54:17 PM

Client
NICK MASON
2200 CARLTON WAY
SANTA BARBARA, CA

CDP SUBMITTAL

| NO. | DESCRIPTION | DATE |
|-----|-------------|------|
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |

THIS DRAWING TO BE READ IN CONJUNCTION WITH ALL RELATED DRAWINGS. DO NOT SCALE FROM THIS DRAWING. EVOKE DESIGN IS TO BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCY. THIS DRAWING IS COPYRIGHTED AND REMAINS THE PROPERTY OF EVOKE DESIGN.

PROPOSED FIRST FLOOR PLAN

A202

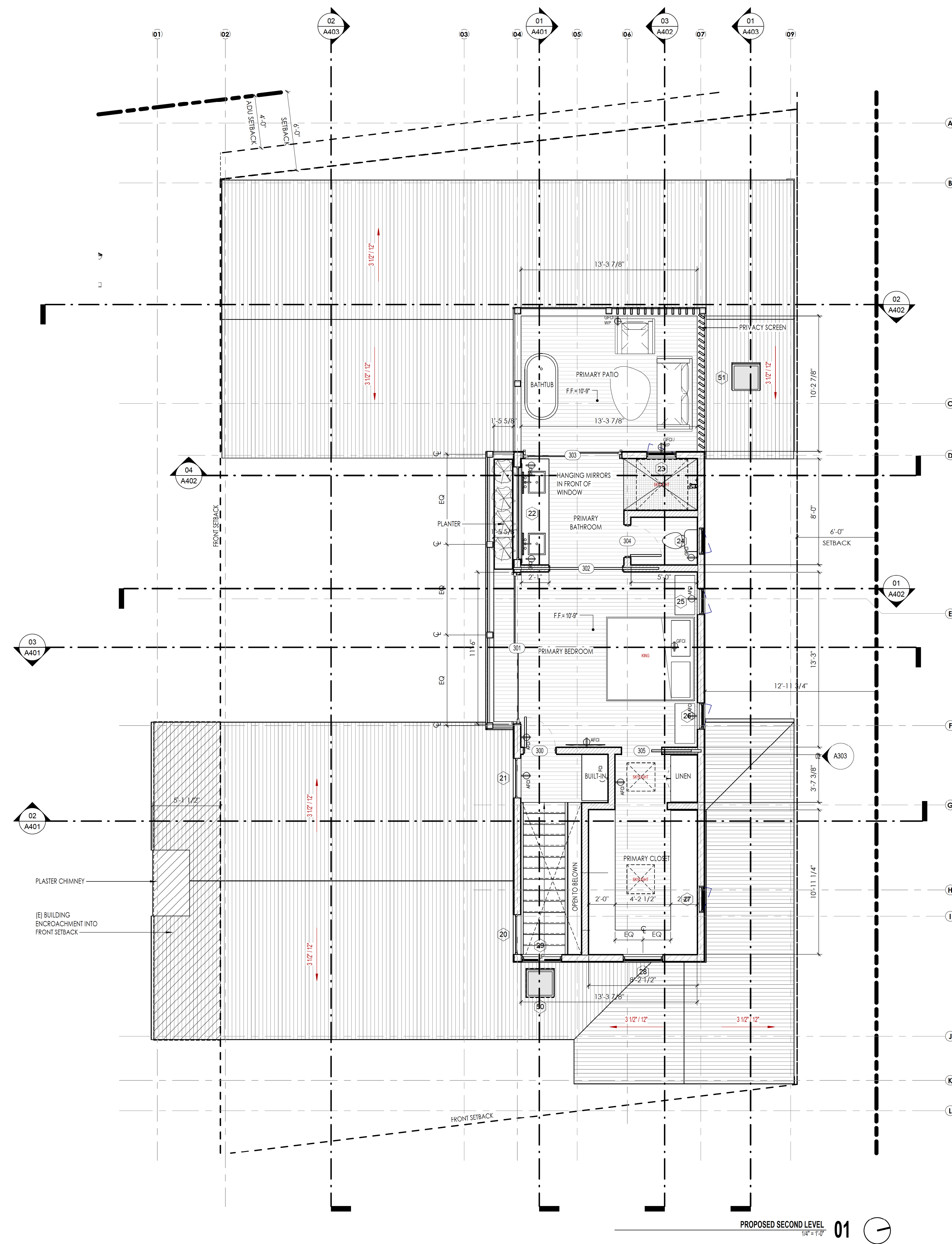
2200 CARLTON

2200 CARLTON WAY
SANTA BARBARA, CA 93109

Designer:



P.O. BOX 1104 SANTA BARBARA, CA 93102 (805) 837-0009



Client
NICK MASON
2200 CARLTON WAY
SANTA BARBARA, CA

CDP SUBMITTAL

DRAWING REVISION
NO. DESCRIPTION DATE

| NO. | DESCRIPTION | DATE |
|-----|-------------|------|
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |

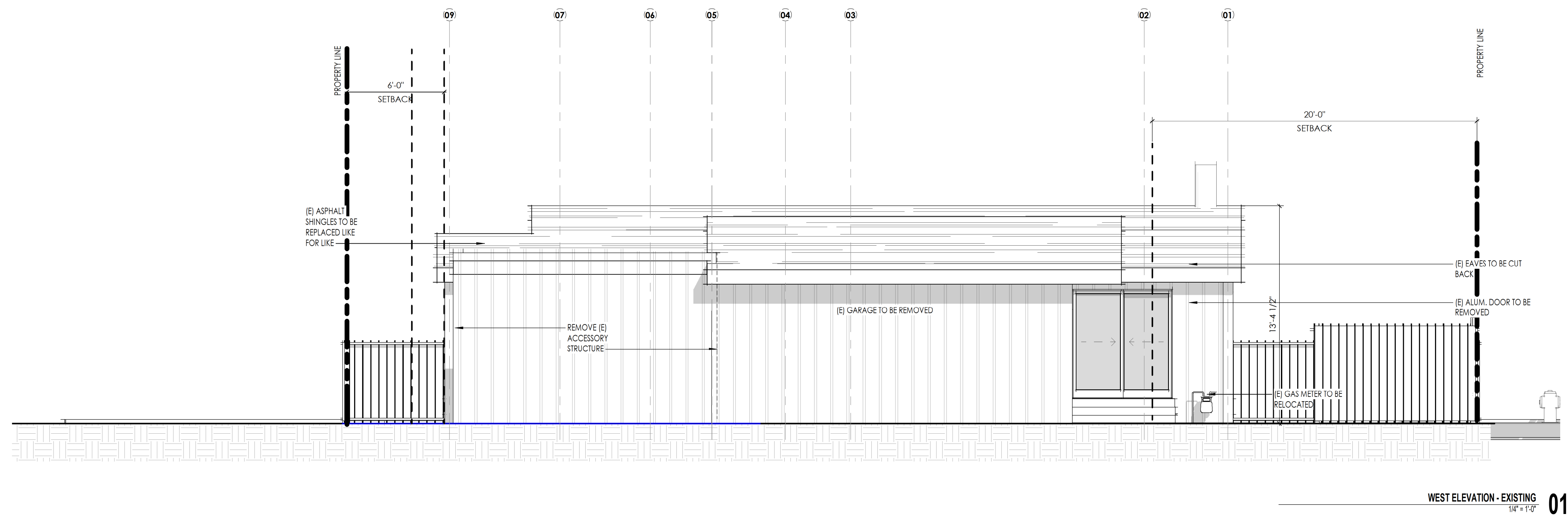
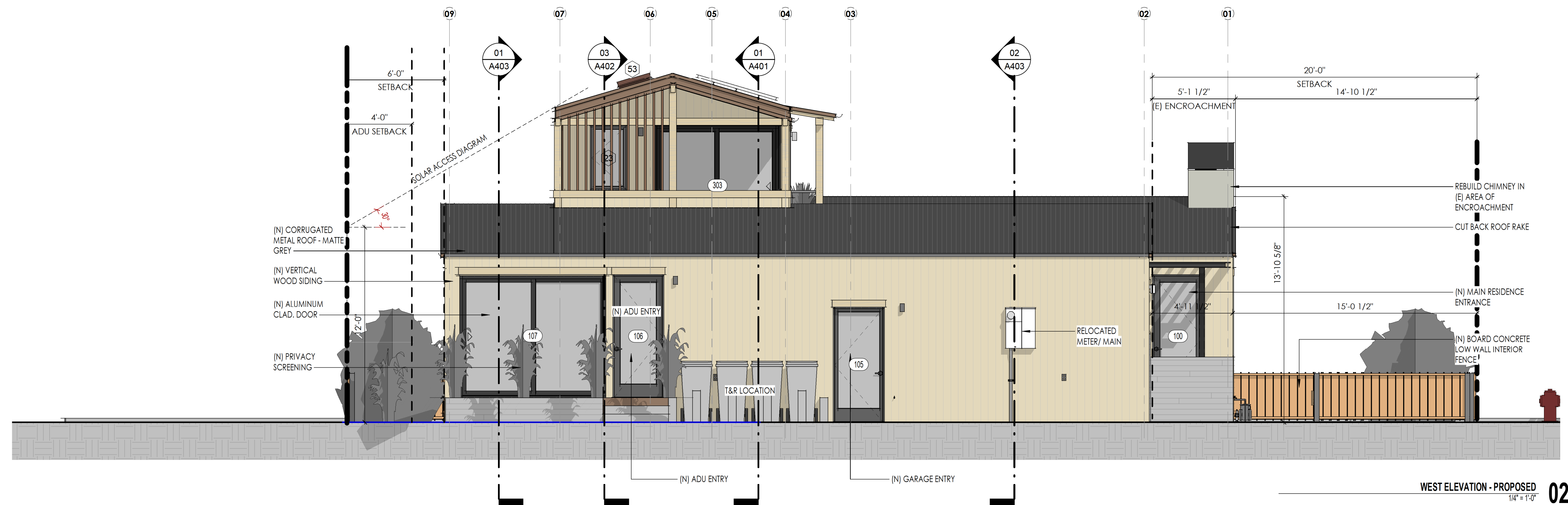
THIS DRAWING TO BE READ IN CONJUNCTION WITH ALL RELATED DRAWINGS. DO NOT SCALE FROM THIS DRAWING. EVOKE DESIGN IS TO BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCY. THIS DRAWING IS COPYRIGHT AND REMAINS THE PROPERTY OF EVOKE DESIGN.

PROPOSED 2ND FLOOR PLAN

A203

9/9/2024 3:54:18 PM

PROPOSED SECOND LEVEL 01
1/4" = 1'-0"



Client
NICK MASON
2200 CARLTON WAY
SANTA BARBARA, CA

CDP SUBMITTAL

| DRAWING REVISION | NO. | DESCRIPTION | DATE |
|------------------|-----|-------------|------|
| | | | |
| | | | |
| | | | |
| | | | |
| | | | |
| | | | |
| | | | |
| | | | |
| | | | |
| | | | |

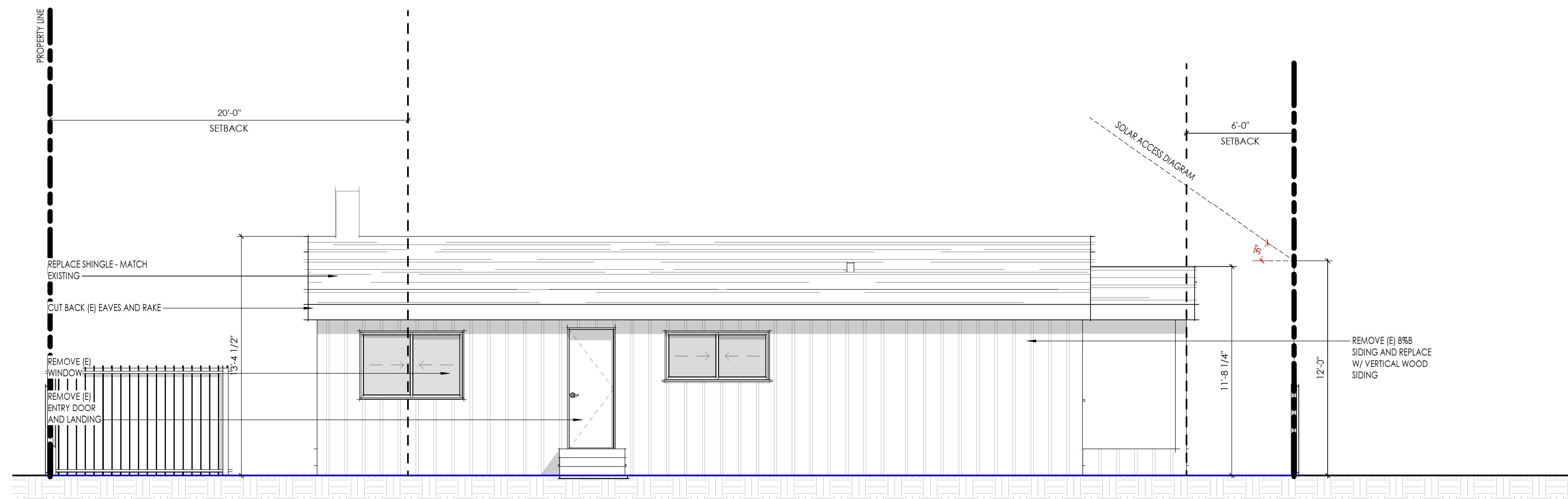
THIS DRAWING TO BE READ IN CONJUNCTION WITH ALL RELATED DRAWINGS. DO NOT SCALE FROM THIS DRAWING. EVOKE DESIGN IS TO BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCY. THIS DRAWING IS COPYRIGHT AND REMAINS THE PROPERTY OF EVOKE DESIGN.

WEST ELEVATIONS - EXISTING & PROPOSED

9/9/2024 3:54:22 PM



EAST ELEVATION - PROPOSED
1/4" = 1'-0" **02**



EAST ELEVATION - EXISTING
1/4" = 1'-0" **01**

Client
NICK MASON
2200 CARLTON WAY
SANTA BARBARA, CA

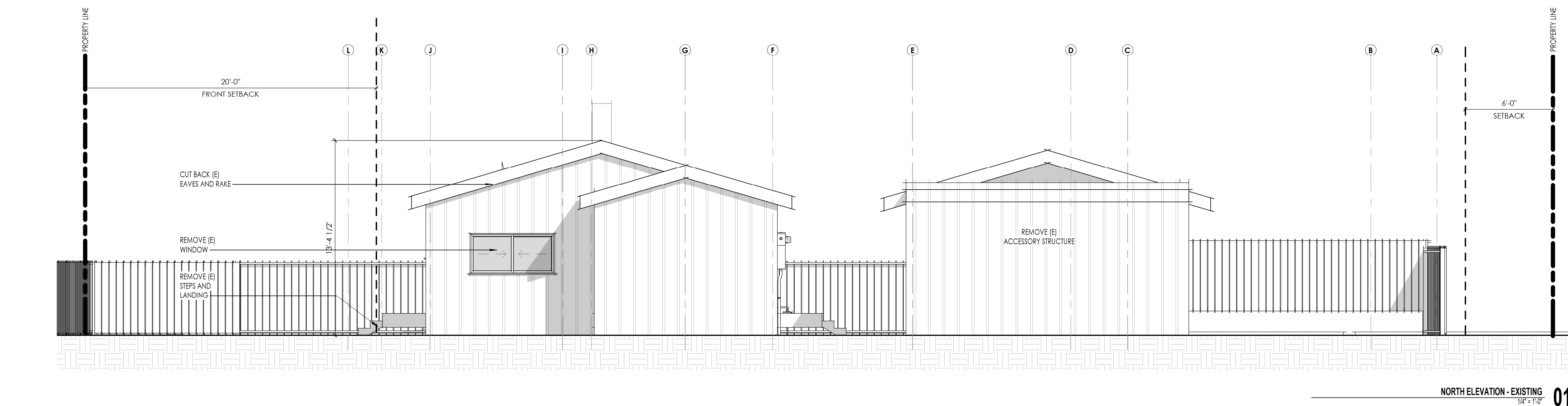
CDP SUBMITTAL

| DRAWING REVISION | | |
|------------------|-------------|------|
| NO. | DESCRIPTION | DATE |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |

THIS DRAWING TO BE READ IN CONJUNCTION WITH ALL RELATED DRAWINGS. DO NOT SCALE FROM THIS DRAWING. EVOKE DESIGN IS TO BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCY. THIS DRAWING IS COPYRIGHTED AND REMAINS THE PROPERTY OF EVOKE DESIGN.

EAST ELEVATIONS - EXISTING & PROPOSED

9/9/2024 3:54:26 PM



Client
NICK MASON
2200 CARLTON WAY
SANTA BARBARA, CA

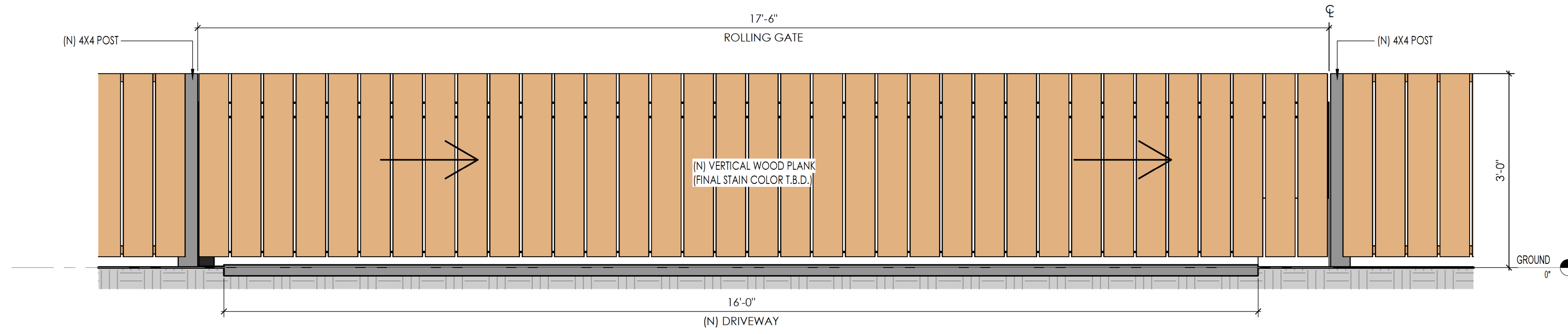
CDP SUBMITTAL

DRAWING REVISION

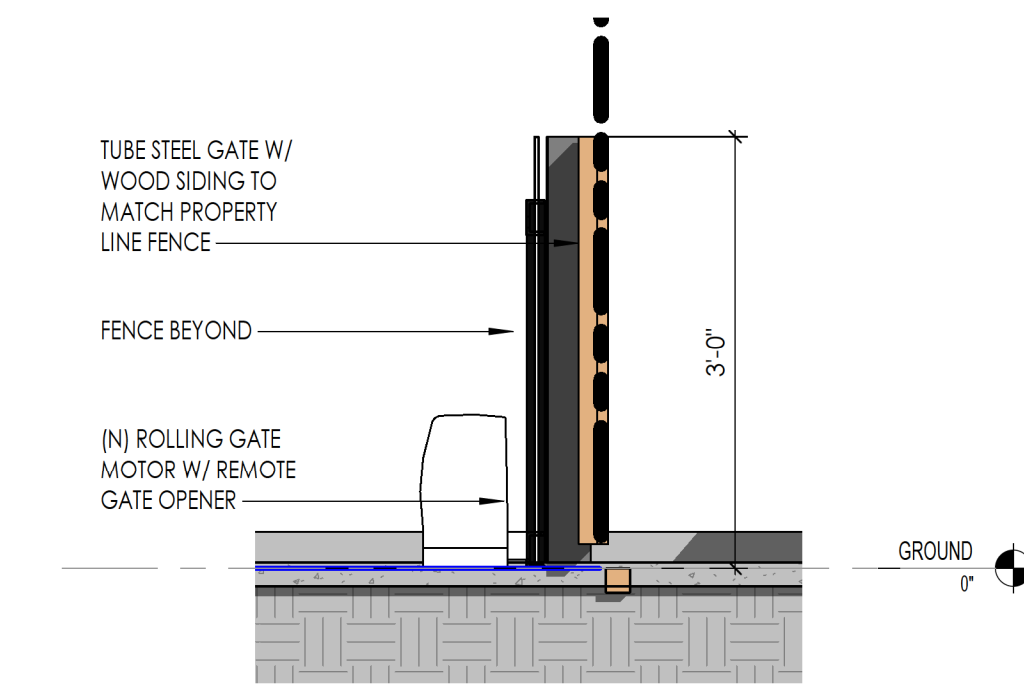
| NO. | DESCRIPTION | DATE |
|-----|-------------|------|
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |

THIS DRAWING TO BE READ IN CONJUNCTION WITH ALL RELATED DRAWINGS. DO NOT SCALE FROM THIS DRAWING. EVOKE DESIGN IS TO BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCY. THIS DRAWING IS COPYRIGHTED AND REMAINS THE PROPERTY OF EVOKE DESIGN.

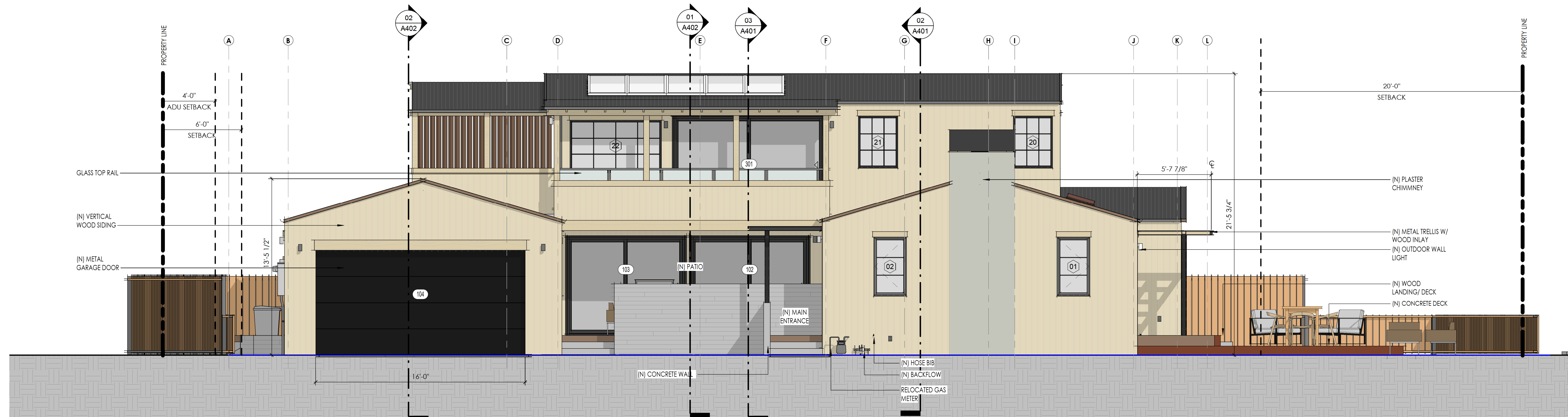
NORTH ELEVATIONS - EXISTING & PROPOSED



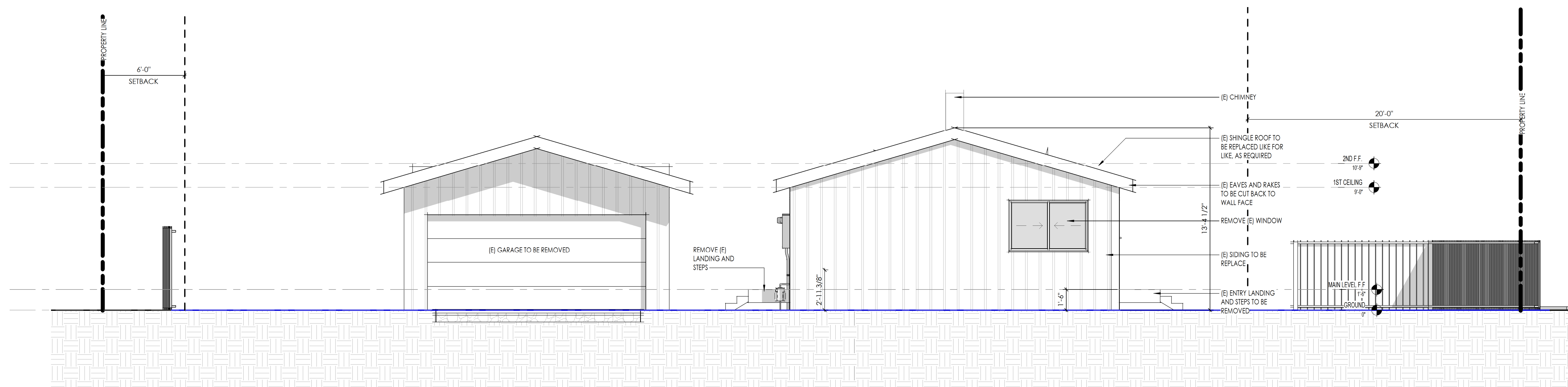
DRIVEWAY GATE - ELEVATION
3/4" = 1'-0" **04**



DRIVEWAY GATE SECTION
3/4" = 1'-0" **03**



SOUTH ELEVATION - PROPOSED
1/4" = 1'-0" **02**



SOUTH ELEVATION - EXISTING
1/4" = 1'-0" **01**

Client
NICK MASON
2200 CARLTON WAY
SANTA BARBARA, CA

CDP SUBMITTAL

DRAWING REVISION
NO. DESCRIPTION DATE

THIS DRAWING TO BE READ IN CONJUNCTION WITH ALL RELATED DRAWINGS. DO NOT SCALE FROM THIS DRAWING. EVOKE DESIGN IS TO BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCY. THIS DRAWING IS COPYRIGHT AND REMAINS THE PROPERTY OF EVOKE DESIGN.

SOUTH ELEVATIONS -
EXISTING & PROPOSED

A304

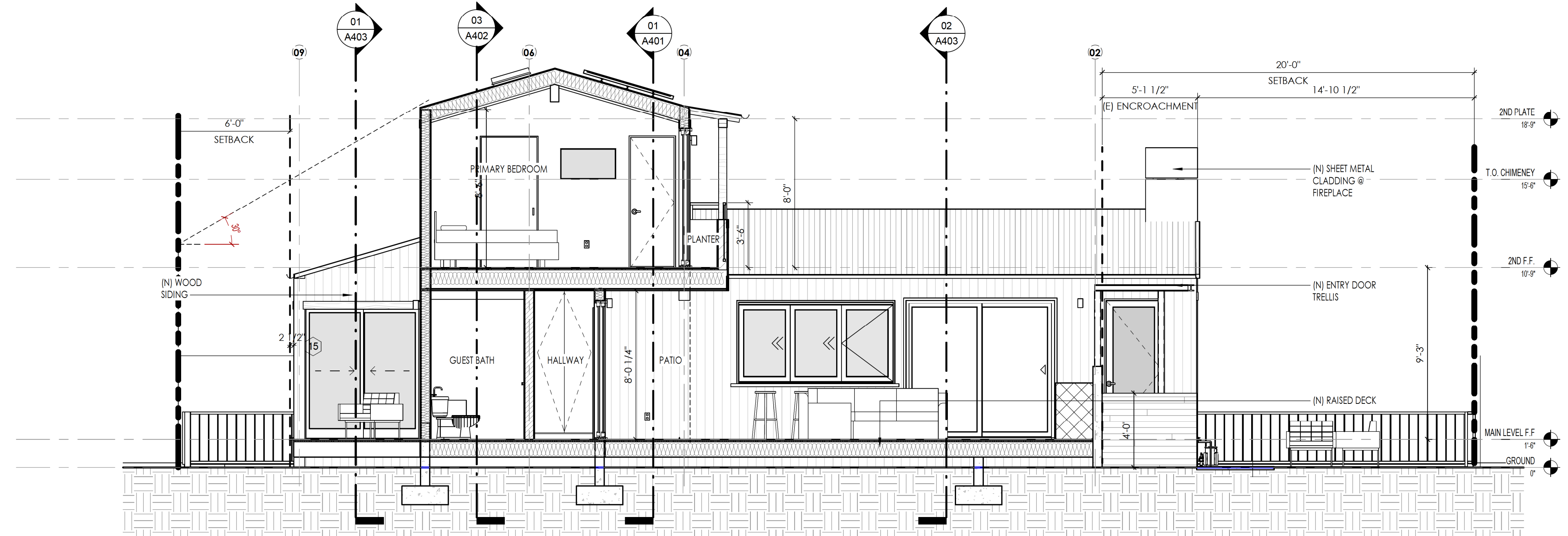
2200 CARLTON

2200 CARLTON WAY
SANTA BARBARA, CA 93109

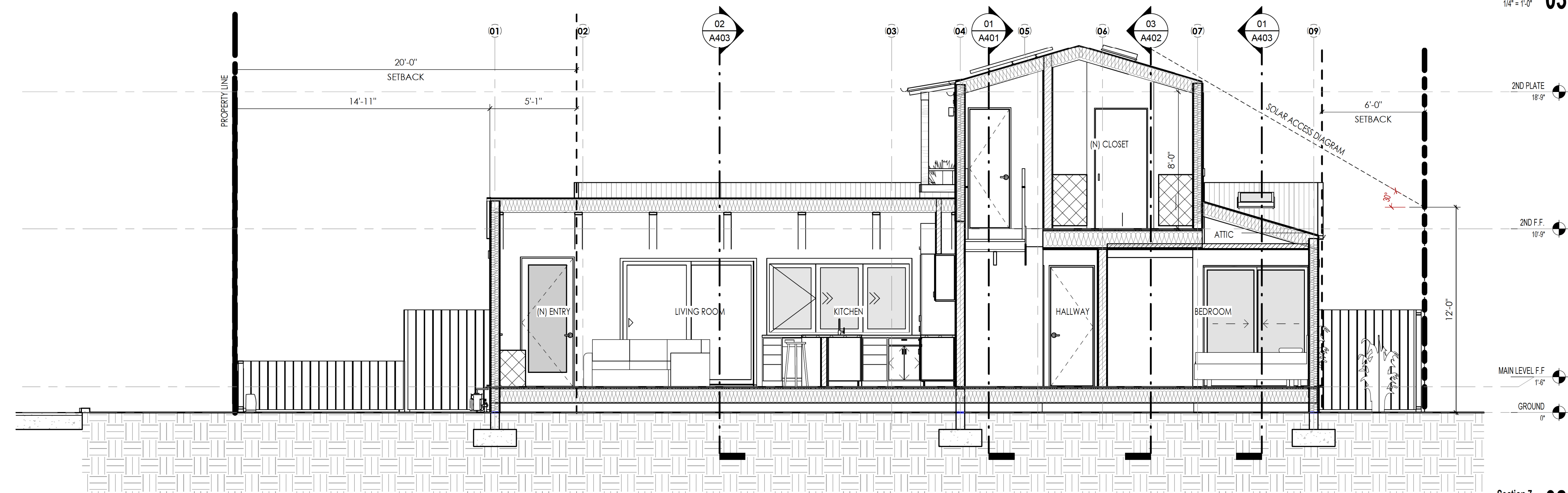
Designer:



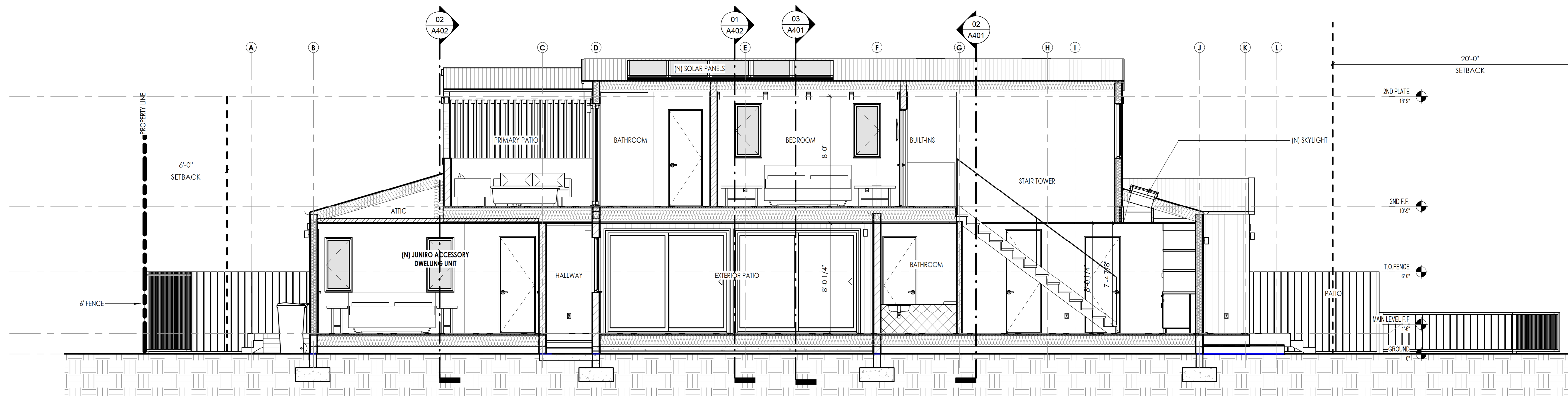
P.O. BOX 1104 SANTA BARBARA, CA 93102 (805) 837-0099



Section 2 - selected
1/4" = 1'-0" 03



Section 7
1/4" = 1'-0" 02



Section 5 - Selected
1/4" = 1'-0" 01

PROPERTY LINE

Client
NICK MASON
2200 CARLTON WAY
SANTA BARBARA, CA

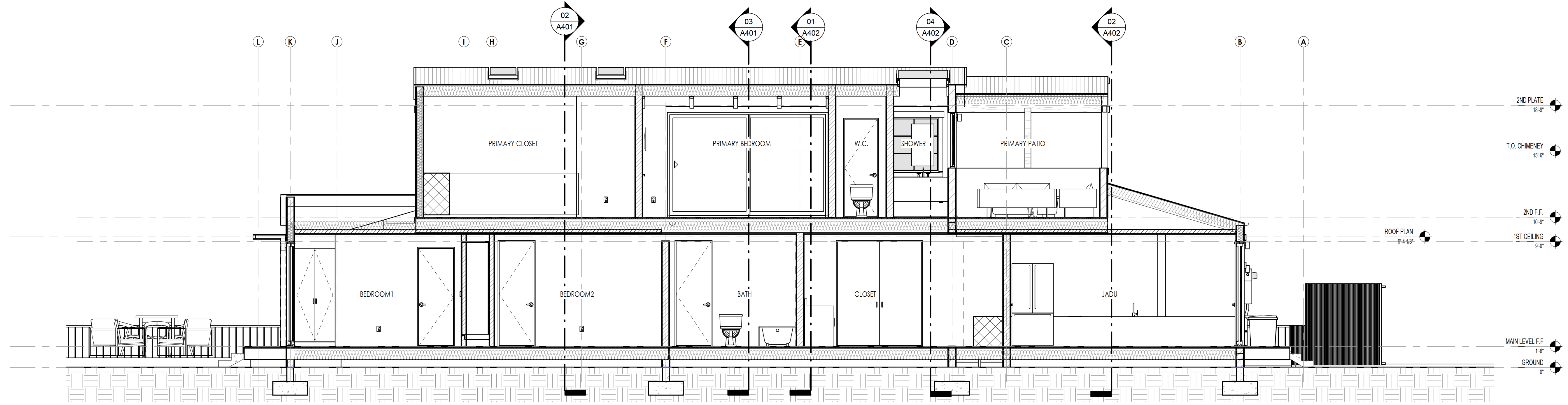
CDP SUBMITTAL

DRAWING REVISION
NO. DESCRIPTION DATE

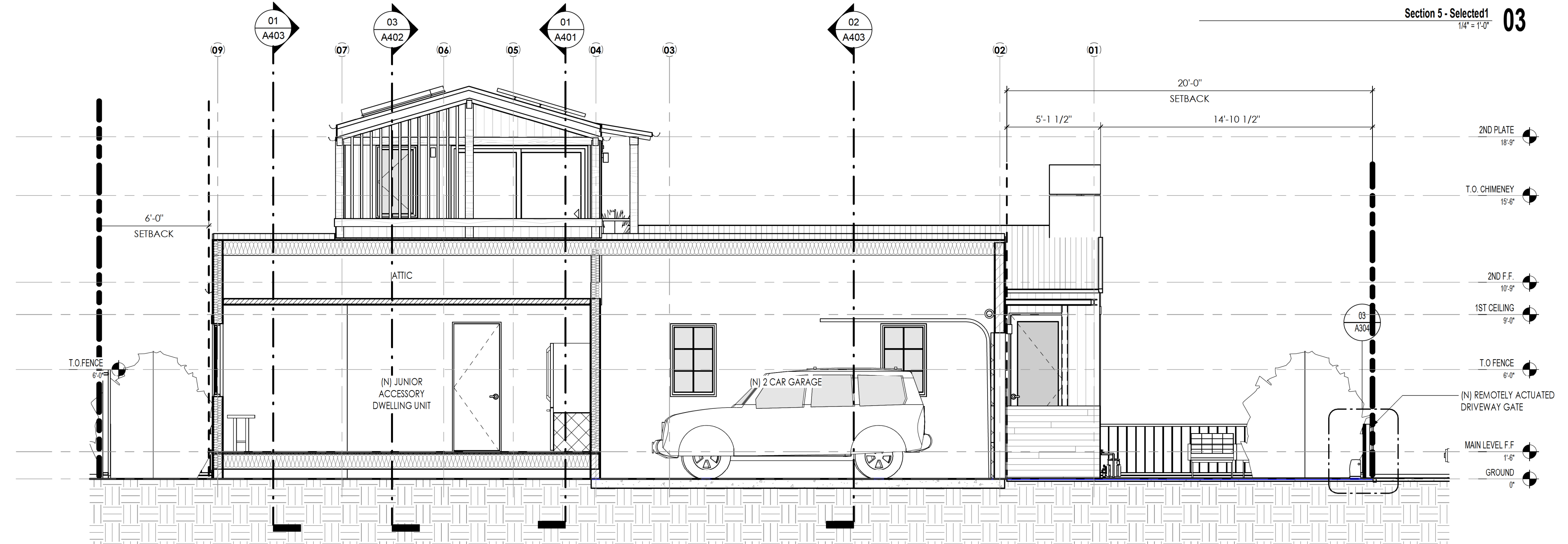
THIS DRAWING TO BE READ IN CONJUNCTION WITH ALL RELATED DRAWINGS. DO NOT SCALE FROM THIS DRAWING. EVOKE DESIGN IS TO BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCY. THIS DRAWING IS COPYRIGHT AND REMAINS THE PROPERTY OF EVOKE DESIGN.

BUILDING SECTIONS

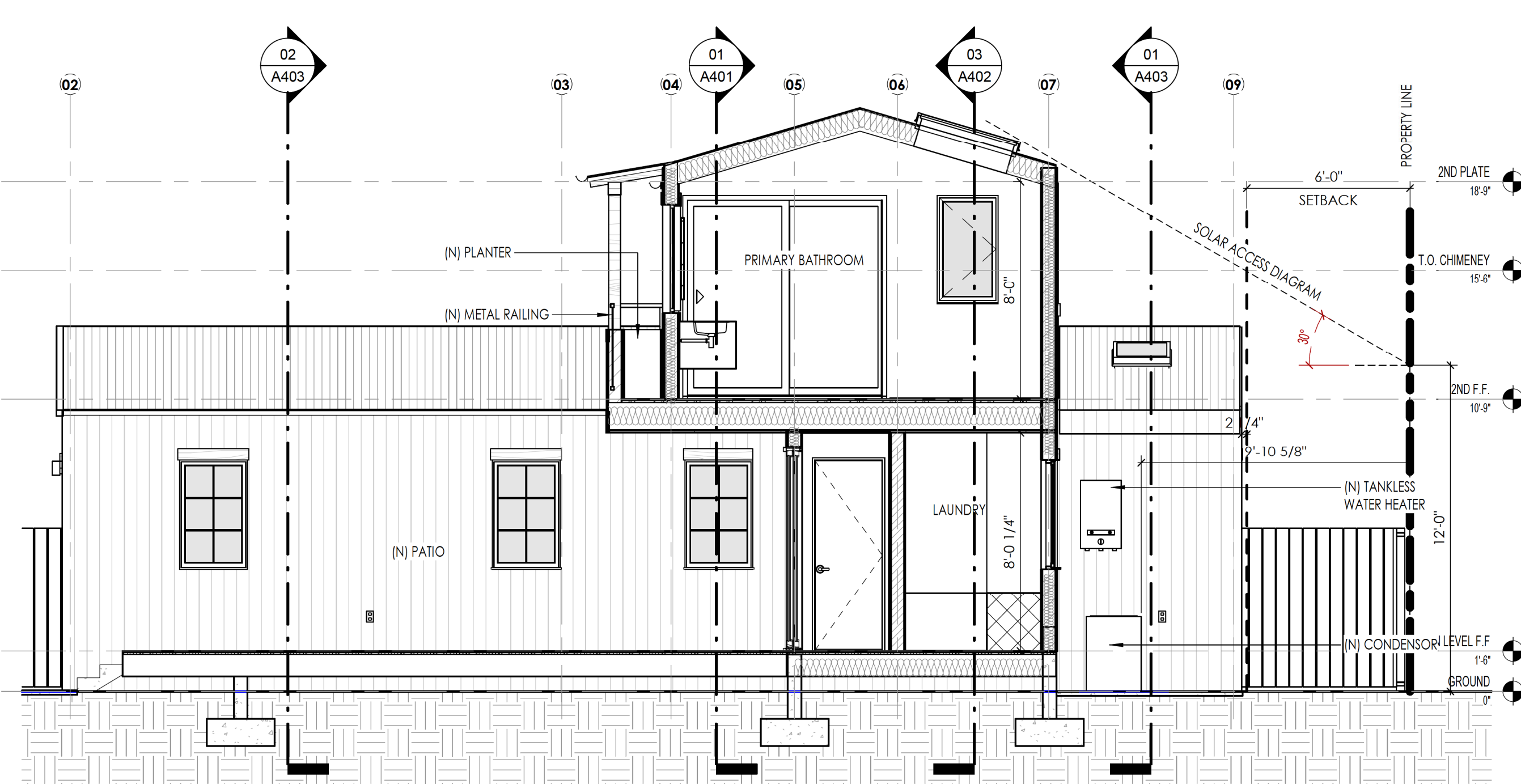
A401



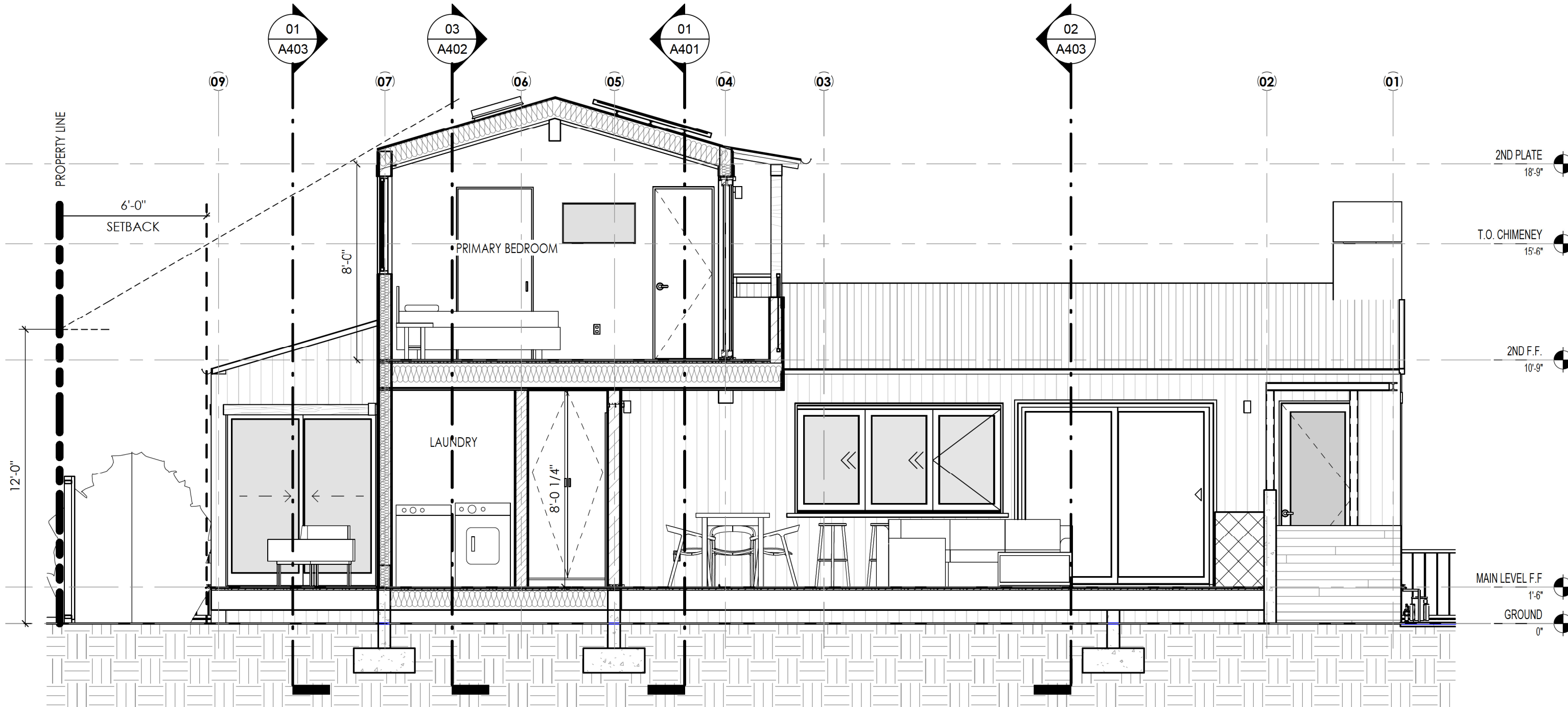
Section 5 - Selected1
 1/4" = 1'-0" **03**



Section 1
 1/4" = 1'-0" **02**



Section 2 - selected2
 1/4" = 1'-0" **04**



Section 3
 1/4" = 1'-0" **01**

Client
 NICK MASON
 2200 CARLTON WAY
 SANTA BARBARA, CA

CDP SUBMITTAL

| DRAWING REVISION | | |
|------------------|-------------|------|
| NO. | DESCRIPTION | DATE |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |

THIS DRAWING TO BE READ IN CONJUNCTION WITH ALL RELATED DRAWINGS. DO NOT SCALE FROM THIS DRAWING. EVOKE DESIGN IS TO BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCY. THIS DRAWING IS COPYRIGHTED AND REMAINS THE PROPERTY OF EVOKE DESIGN.

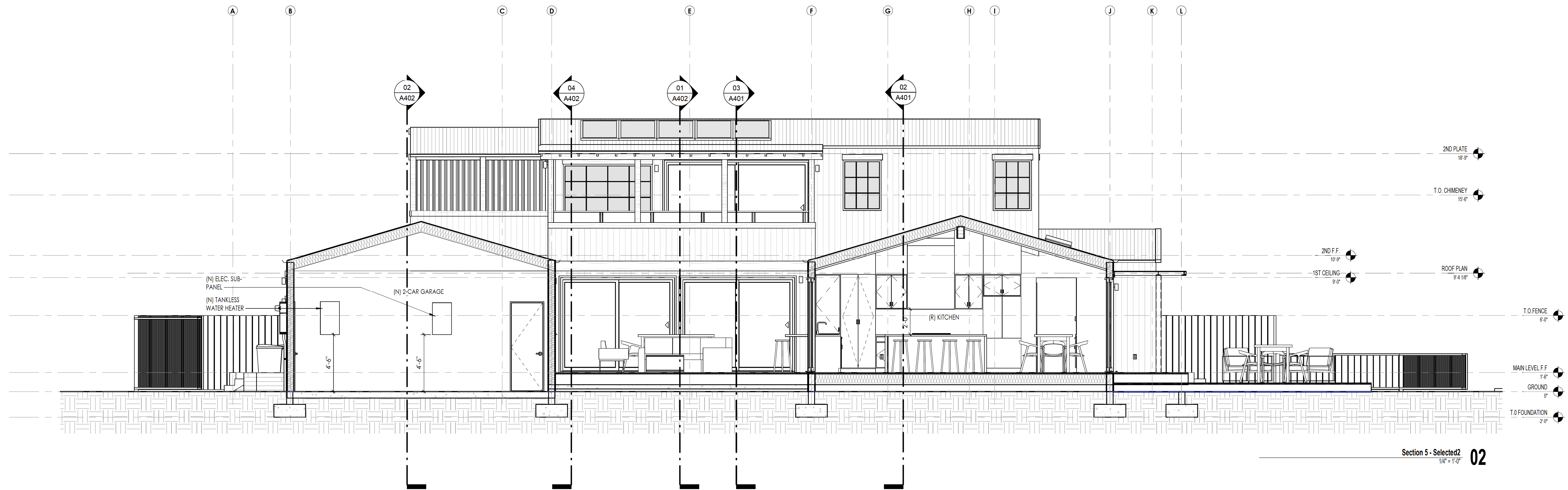
BUILDING SECTIONS

A402

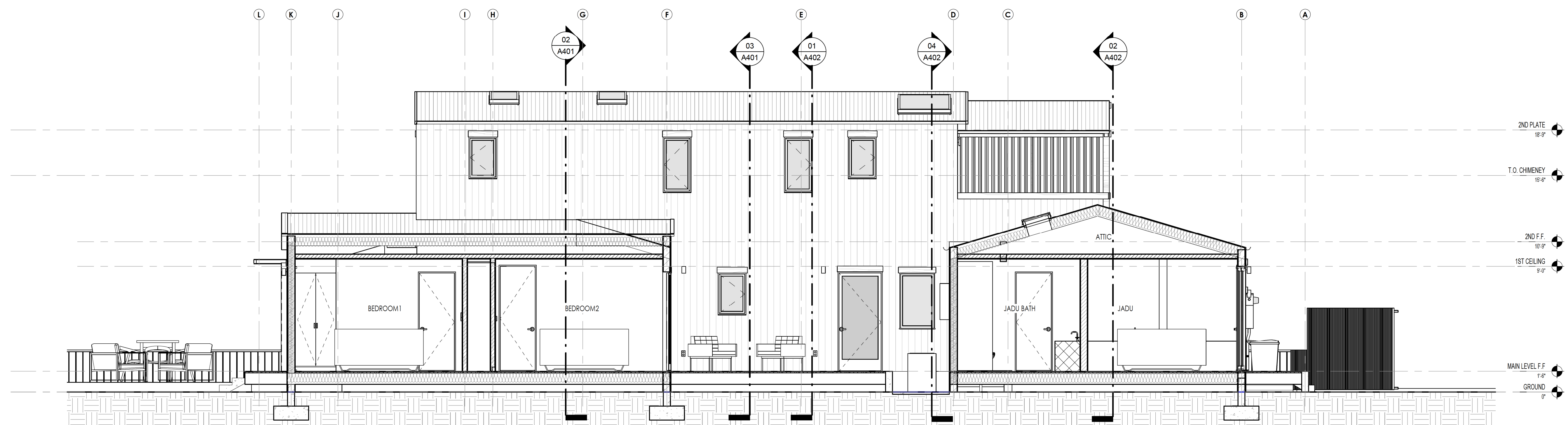
9/9/2024 3:56:45 PM

2200 CARLTON

2200 CARLTON WAY
SANTA BARBARA, CA 93109



Section 5 - Selected2
1/4" = 1'-0" **02**



Section 5 - Selected3
1/4" = 1'-0" **01**

Client
NICK MASON
2200 CARLTON WAY
SANTA BARBARA, CA

CDP SUBMITTAL

| DRAWING REVISION | | |
|------------------|-------------|------|
| NO. | DESCRIPTION | DATE |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |

THIS DRAWING TO BE READ IN CONJUNCTION WITH ALL RELATED DRAWINGS. DO NOT SCALE FROM THIS DRAWING. EVOKE DESIGN IS TO BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCY. THIS DRAWING IS COPYRIGHTED AND REMAINS THE PROPERTY OF EVOKE DESIGN.

BUILDING SECTIONS

A403

9/9/2024 3:54:48 PM

DOOR NOTES

- REFER TO DRAWINGS FOR SWING OF DOORS
- ALL GLAZING IN DOORS TO BE TEMPERED GLASS
- EXTERIOR GLAZED DOORS TO COMPLY WITH CRC R337.8.2 AND SBMC 5780 SEC R337.8.2
- FIELD VERIFY ALL CONDITIONS FOR PLACEMENT, SIZE & DETAILS.
- ALL GLAZING INSTALLED IN HAZARDOUS LOCATIONS TO BE SAFETY GLASS PER CRC R308.4.1 & R308.4.2
 - GLAZING IN FIXED AND OPERABLE PANELS OF SWINGING, SLIDING, AND BI-FOLD DOORS
 - GLAZING IS LESS THAN 60 INCHES ABOVE THE FLOOR OR WALKING SURFACE AND MEETS EITHER OF THE FOLLOWING CONDITIONS:
 - GLAZING IS WITHIN 24 INCHES OF EITHER SIDE OF THE DOOR IN THE PLANE OF THE DOOR IN A CLOSED POSITION
 - GLAZING IS ON A WALL PERPENDICULAR TO THE PLANE OF THE DOOR IN A CLOSED POSITION AND WITHIN 24 INCHES OF THE HINGE SIDE OF AN IN-SWINGING DOOR
- UNDERCUT DOOR FOR MINIMUM CLEARANCE ABOVE FLOOR FINISH
- PROVIDE DOOR SCHEDULE AND HARDWARE SPECIFICATIONS FOR ARCHITECT'S APPROVAL PRIOR TO INSTALLATION
- FIELD VERIFY ALL DOOR DIMENSION ROUGH OPENINGS. VERIFY DIMENSIONS WITH HEAD, JAMB, SILL & DETAILS
- ALL DOOR SYSTEMS SHALL MEET TITLE 24 REQUIREMENTS FOR ALTERED AREAS, SHGC OF NO MORE THAN 0.40 AND U FACTOR OF NO MORE THAN 0.40

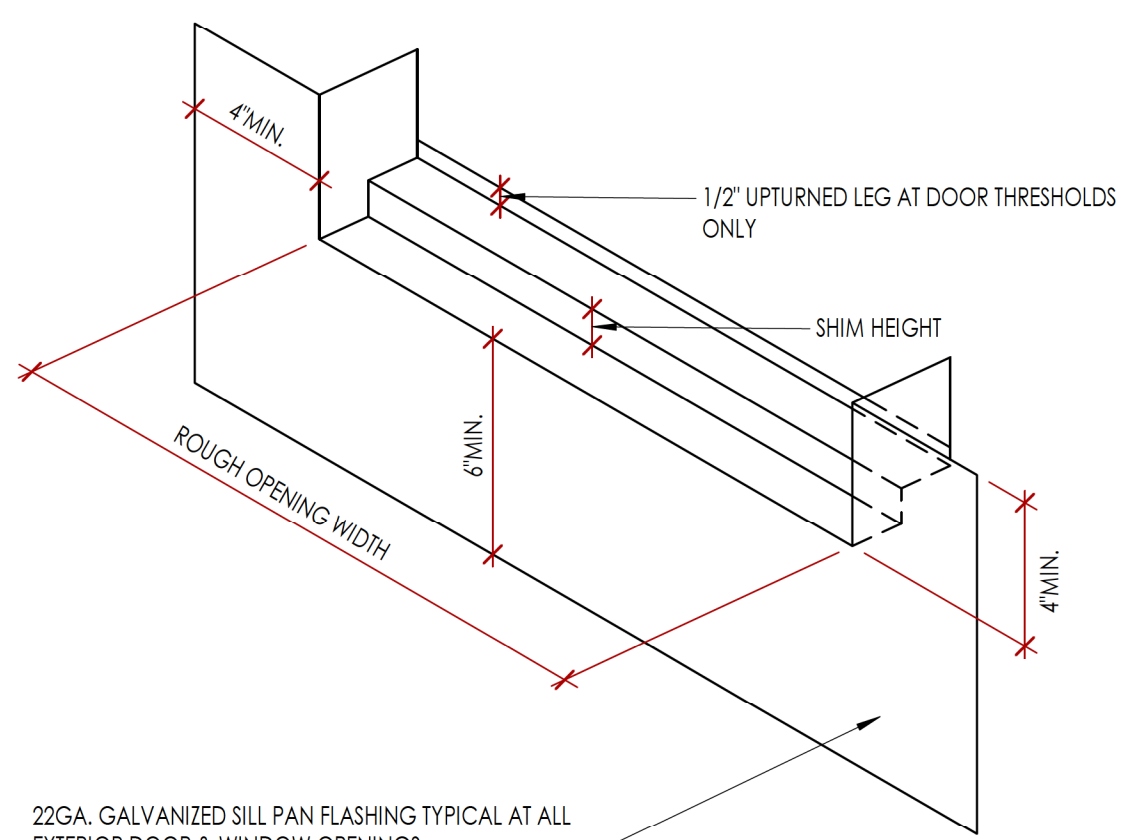
WINDOW NOTES

- CONTRACTOR TO VERIFY WALL THICKNESS & COORDINATE JAMB WIDTH ACCORDINGLY
- ALL GLAZING INSTALLED IN HAZARDOUS LOCATIONS SHALL BE SAFETY GLASS PER CRC R308.4.3
 - THE EXPOSED AREA OF AN INDIVIDUAL PANE IS LARGER THAN 8 sq. ft.
 - THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 18 INCHES ABOVE THE FLOOR
 - THE TOP EDGE OF THE GLAZING IS MORE THAN 36 INCHES ABOVE THE FLOOR, AND
 - ONE OR MORE WALKING SURFACES ARE WITHIN 36 INCHES MEASURED HORIZONTALLY AND IN A STRAIGHT LINE, OF THE GLAZING
- EXTERIOR WINDOWS TO COMPLY WITH WITH CRC R337.8.2 AND SBMC 5780 SEC R337.8.2
- FIELD VERIFY ALL WINDOW DIMENSION ROUGH OPENINGS. VERIFY WITH HEAD, JAMB, SILL & DETAILS
- ALL WINDOW SYSTEMS SHALL MEET TITLE 24 REQUIREMENTS FOR ALTERED AREAS, SHGC OF NO MORE THAN 0.40 AND U FACTOR OF NO MORE THAN 0.40

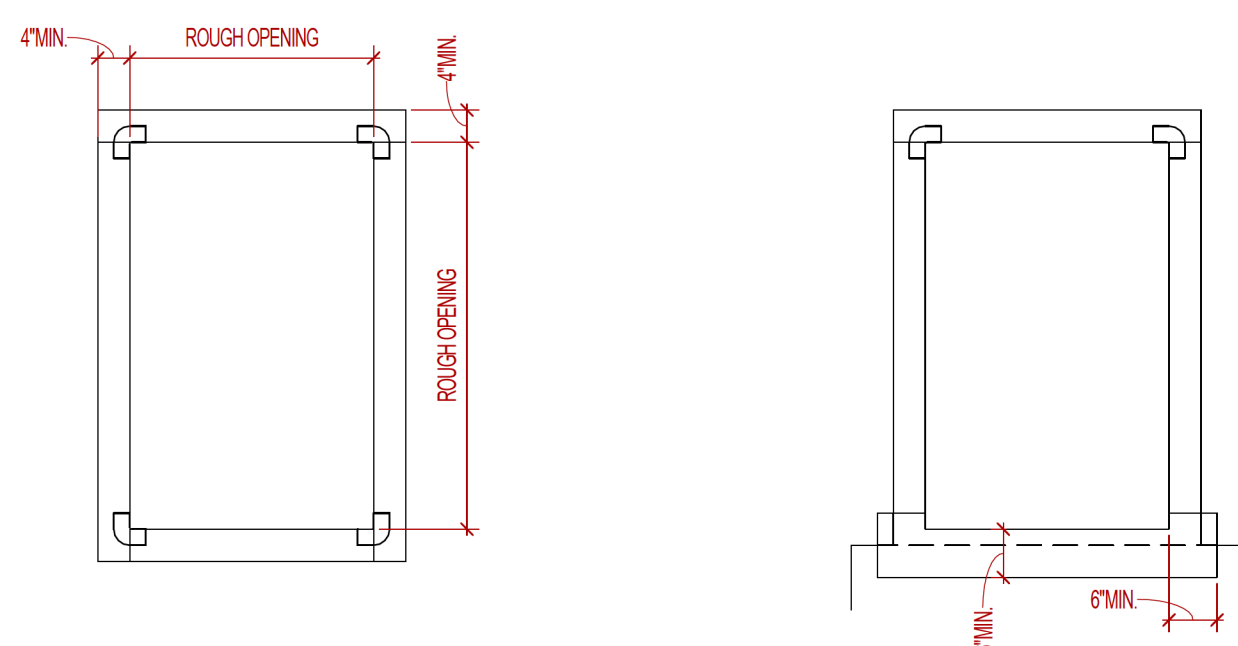
DOOR SCHEDULE

| NUMBER | TYPE | WIDTH | HEIGHT | THICKNESS | DOOR | |
|--------|------|--------|--------|-----------|----------|-------|
| | | | | | MATERIAL | NOTES |
| 100 | 124 | 3'-0" | 7'-6" | 1 3/4" | | |
| 101 | 189 | 8'-0" | 7'-6" | 8 3/16" | | |
| 102 | 188 | 9'-0" | 7'-6" | 8 3/16" | | |
| 103 | 188 | 9'-0" | 7'-6" | 8 3/16" | | |
| 104 | 159 | 16'-0" | 8'-0" | 2" | | |
| 105 | 8 | 3'-0" | 7'-0" | 1 3/4" | | |
| 106 | 124 | 3'-0" | 7'-6" | 1 3/4" | | |
| 107 | 188 | 9'-0" | 7'-6" | 8 3/16" | | |
| 108 | 8 | 3'-0" | 7'-0" | 1 3/4" | | |
| 109 | 196 | 4'-0" | 7'-0" | 1 3/4" | | |
| 110 | 174 | 10'-6" | 7'-6" | 8 3/16" | | |
| 111 | 174 | 10'-6" | 7'-6" | 8 3/16" | | |
| 187 | 177 | 7'-6" | 7'-6" | 8 3/16" | | |
| 200 | 71 | 2'-6" | 7'-0" | 1 3/4" | | |
| 201 | 71 | 2'-6" | 7'-0" | 1 3/4" | | |
| 202 | 71 | 2'-6" | 7'-0" | 1 3/4" | | |
| 203 | 194 | 6'-0" | 7'-6" | 1 3/4" | | |
| 204 | 195 | 2'-6" | 7'-6" | 1 3/4" | | |
| 205 | 66 | 2'-6" | 7'-0" | 1 3/4" | | |
| 206 | 195 | 2'-6" | 7'-6" | 1 3/4" | | |
| 207 | 71 | 2'-6" | 7'-0" | 1 3/4" | | |
| 300 | 66 | 2'-6" | 7'-0" | 1 3/4" | | |
| 301 | 193 | 11'-6" | 7'-6" | 8 3/16" | | |
| 302 | 152 | 5'-6" | 6'-8" | 1 3/4" | | |
| 303 | 177 | 7'-6" | 7'-6" | 8 3/16" | | |
| 304 | 66 | 2'-6" | 7'-0" | 1 3/4" | | |
| 305 | 11 | 3'-0" | 7'-0" | 1 3/4" | | |

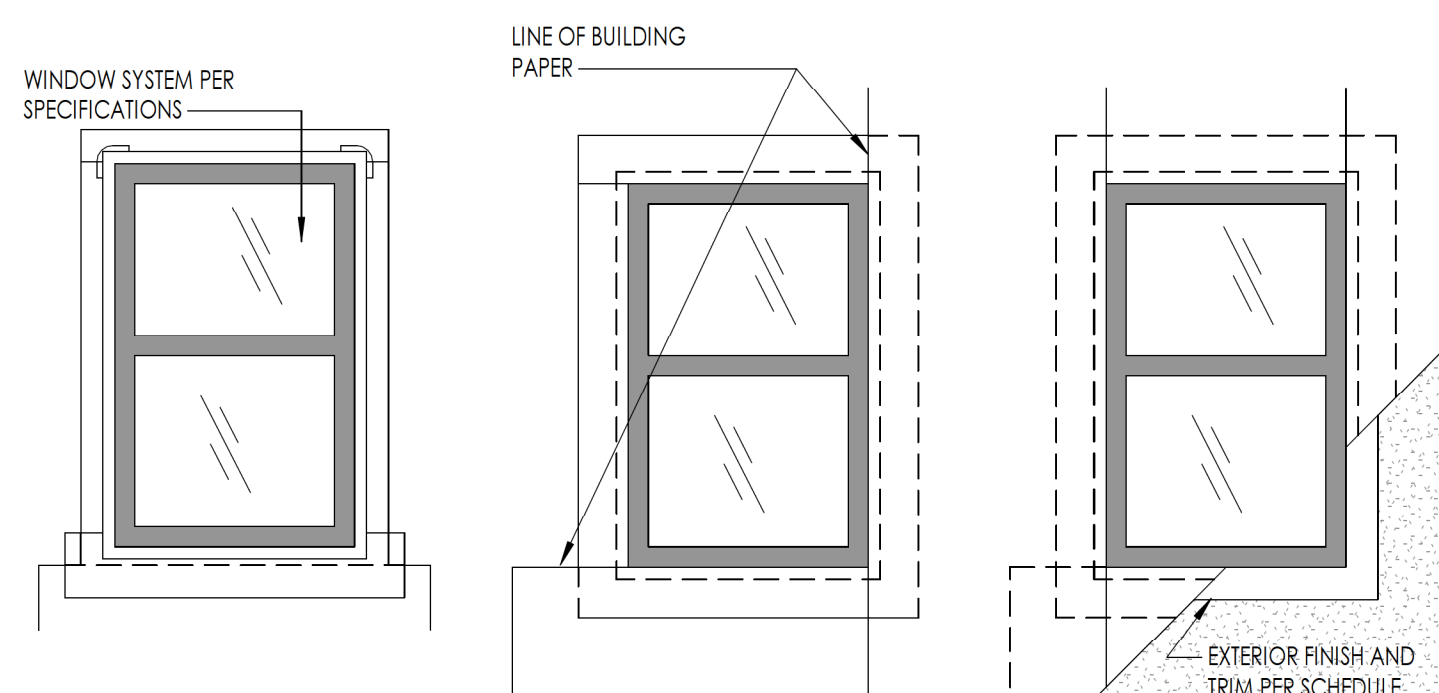
| Window Schedule | | | | | | | |
|-----------------|-------|--------|-------------|-------------|-------------|------|--------------|
| Mark | Width | Height | Head Height | Sill Height | Material | SHGC | NOTES |
| 01 | 2'-6" | 4'-6" | 7'-6" | 3'-0" | | | |
| 02 | 2'-6" | 4'-6" | 7'-6" | 3'-0" | | | |
| 03 | 8'-6" | 4'-6" | 7'-6" | 3'-0" | | | |
| 04 | 2'-6" | 4'-0" | 7'-0" | 3'-0" | | | |
| 05 | 2'-6" | 4'-0" | 7'-0" | 3'-0" | | | |
| 06 | 2'-6" | 4'-0" | 7'-0" | 3'-0" | | | |
| 07 | 2'-0" | 4'-0" | 7'-0" | 3'-0" | | | |
| 08 | 2'-0" | 4'-0" | 7'-0" | 3'-0" | | | |
| 09 | 2'-0" | 4'-0" | 7'-0" | 3'-0" | | | |
| 10 | 2'-6" | 4'-0" | 7'-0" | 3'-0" | | | |
| 11 | 2'-0" | 3'-0" | 7'-0" | 4'-0" | | | |
| 12 | 2'-0" | 4'-0" | 7'-0" | 3'-0" | | | |
| 13 | 2'-0" | 4'-0" | 7'-0" | 3'-0" | | | |
| 14 | 2'-0" | 4'-0" | 7'-0" | 3'-0" | ALUMN. CLAD | 0.23 | U Factor 0.3 |
| 15 | 2'-0" | 4'-0" | 7'-0" | 3'-0" | ALUMN. CLAD | 0.23 | U Factor 0.3 |
| 20 | 3'-0" | 4'-0" | 7'-6" | 3'-6" | | | |
| 21 | 3'-0" | 4'-0" | 7'-6" | 3'-6" | | | |
| 22 | 7'-0" | 4'-0" | 7'-2" | 3'-2" | | | |
| 23 | 2'-3" | 4'-0" | 7'-6" | 3'-6" | | | |
| 24 | 2'-0" | 3'-0" | 7'-6" | 4'-6" | | | |
| 25 | 2'-0" | 4'-0" | 7'-6" | 3'-6" | | | |
| 26 | 2'-0" | 4'-0" | 7'-6" | 3'-6" | | | |
| 27 | 2'-0" | 3'-0" | 7'-6" | 4'-6" | | | |
| 28 | 3'-0" | 4'-0" | 7'-6" | 3'-6" | | | |
| 29 | 3'-0" | 4'-0" | 7'-6" | 3'-6" | | | |
| 50 | 2'-0" | 2'-0" | | | | | |
| 51 | 2'-0" | 2'-0" | | | | | |
| 52 | 3'-8" | 3'-10" | | | | | |
| 53 | 2'-0" | 2'-0" | | | | | |
| 54 | 2'-0" | 2'-0" | | | | | |



SILL PAN FLASHING DETAIL
3" = 1'-0"

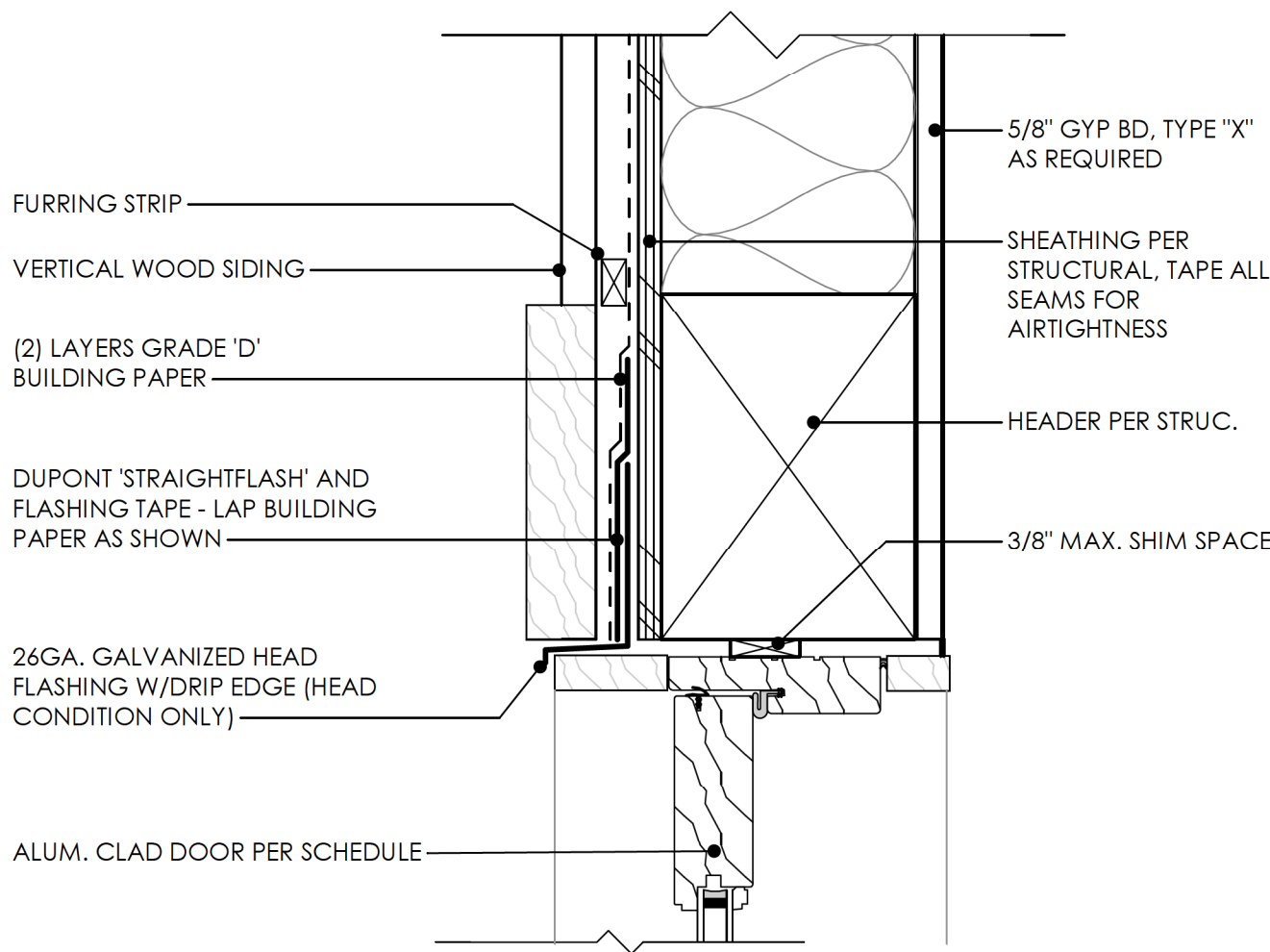


- APPLY 60MIL PLIABLE MEMBRANE TAPE OVER SHEATHING AT CORNERS OF ROUGH OPENING - 'J5500' DETAIL TAPE OR EQUAL.
APPLY 40MIL PEEL AND STICK MEMBRANE AT FRAME - P.W.100/40' OR EQUAL. LAP AS SHOWN
- APPLY BUILDING PAPER AT SILL CONDITION.
APPLY 20MIL PEEL AND STICK BUILDING TAPE AT SILL OVER BUILDING PAPER - 'B120L' OR EQUAL

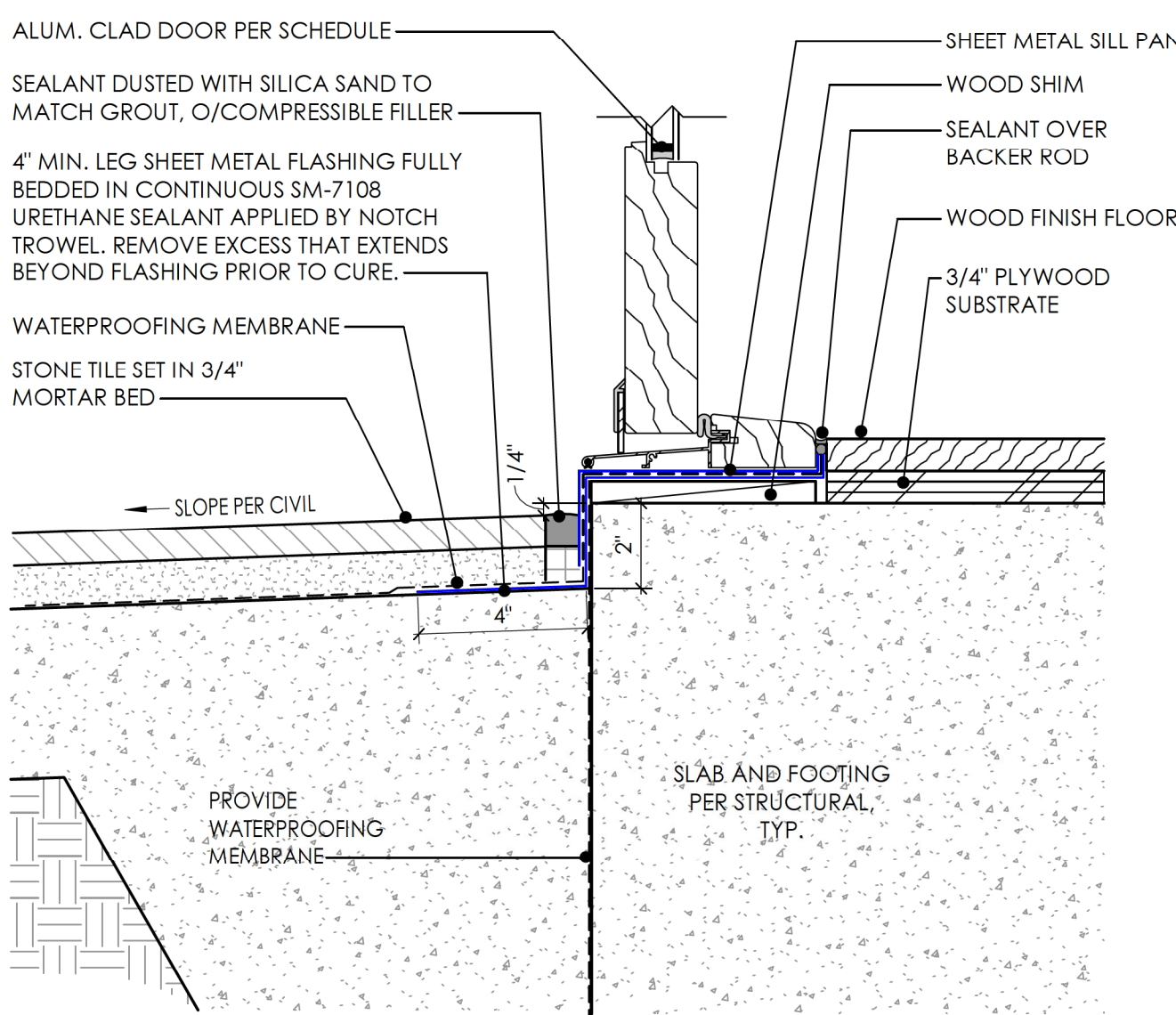


- INSTALL WINDOW SHIMS AS NECESSARY.
INSTALL AND SET WINDOW IN OPENING PER MFR'S REQUIREMENTS, MECHANICALLY FASTEN FLANGE TO SUBSTRATE
- APPLY BUILDING PAPER OVER WINDOW FLANGES AS SHOWN - MAINTAIN EXTERIOR SIDE OVERLAP, TYPICAL
- APPLY EXTERIOR FINISH AND TRIM PER SCHEDULE

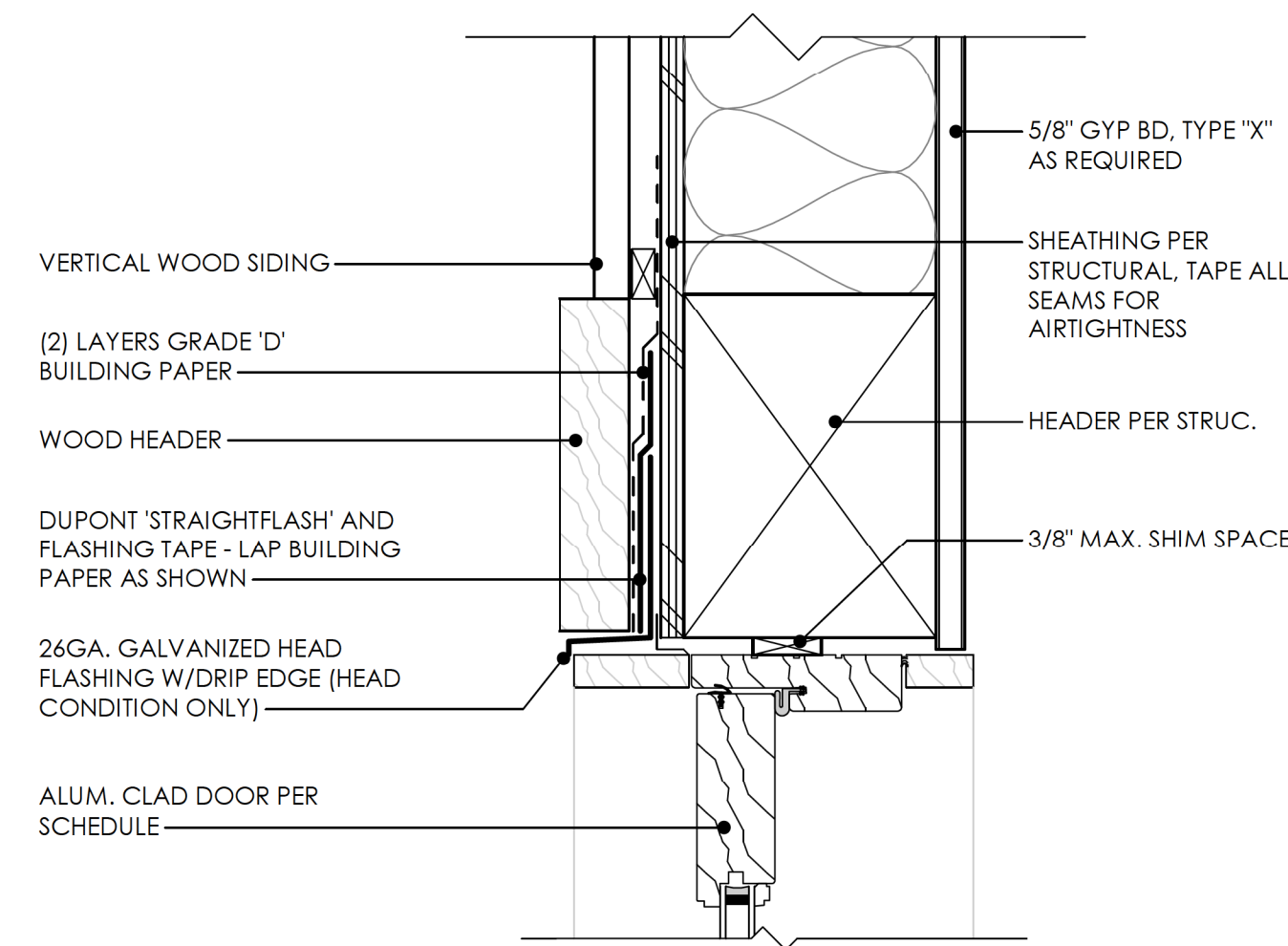
TYPICAL OPENING FLASHING & WATER-PROOFING PROCEDURES
1/2" = 1'-0"



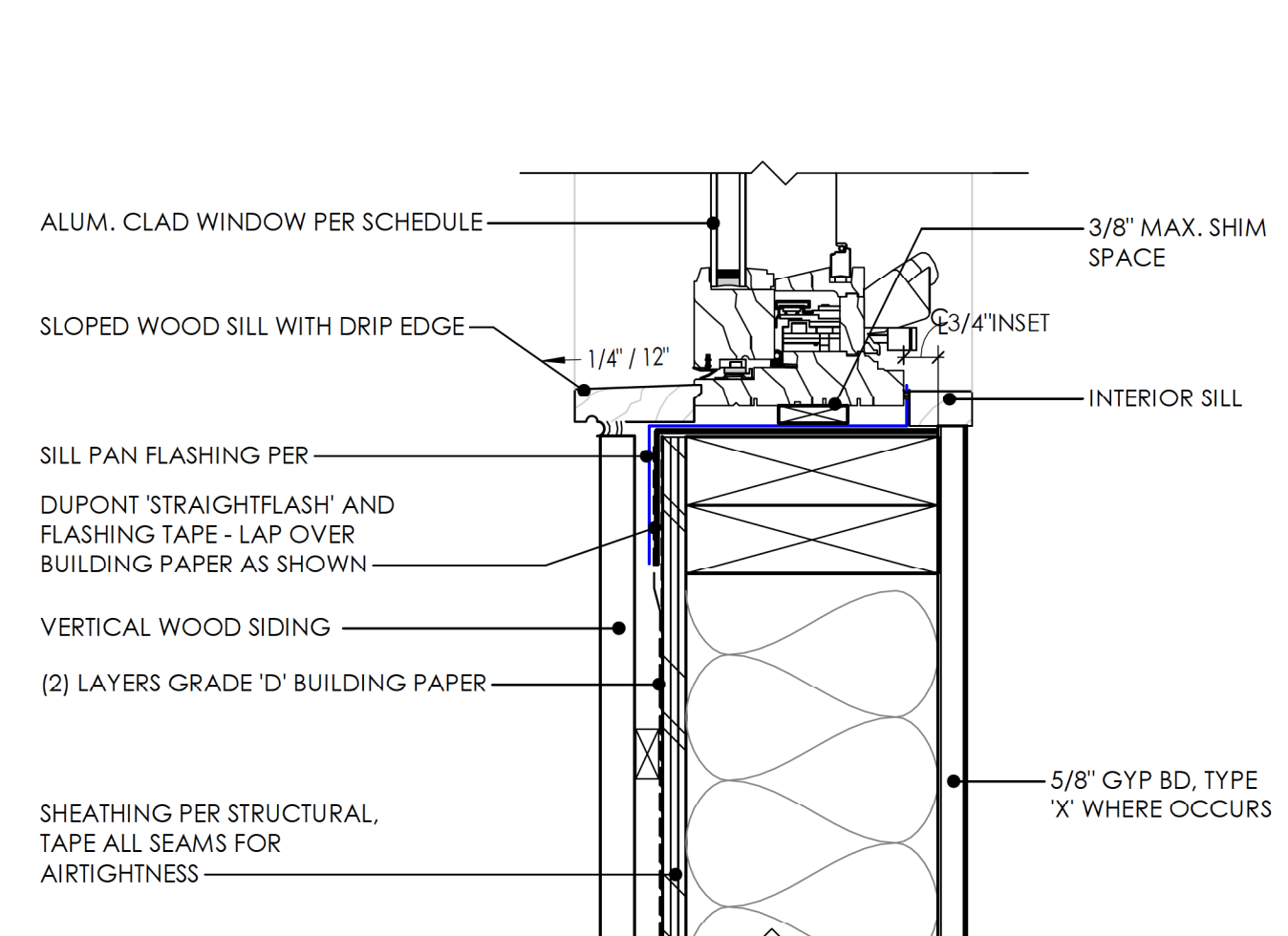
TYP. OUTSWING FRENCH DOOR HEAD-JAMB @ VERT. WOOD SIDING
3" = 1'-0"



TYP. OUTSWING FRENCH DOOR SILL
3" = 1'-0"



TYP. OUTSWING FRENCH DOOR HEAD-JAMB
3" = 1'-0"



TYP. WOOD WINDOW SILL @ VERT. WOOD SIDING
3" = 1'-0"

2200 CARLTON

2200 CARLTON WAY
SANTA BARBARA, CA 93109

Designer:



P.O. BOX 1104 SANTA BARBARA, CA 93102 (805) 837-5009

Client
NICK MASON
2200 CARLTON WAY
SANTA BARBARA, CA

CDP SUBMITTAL

| DRAWING REVISION | | |
|------------------|-------------|------|
| NO. | DESCRIPTION | DATE |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |

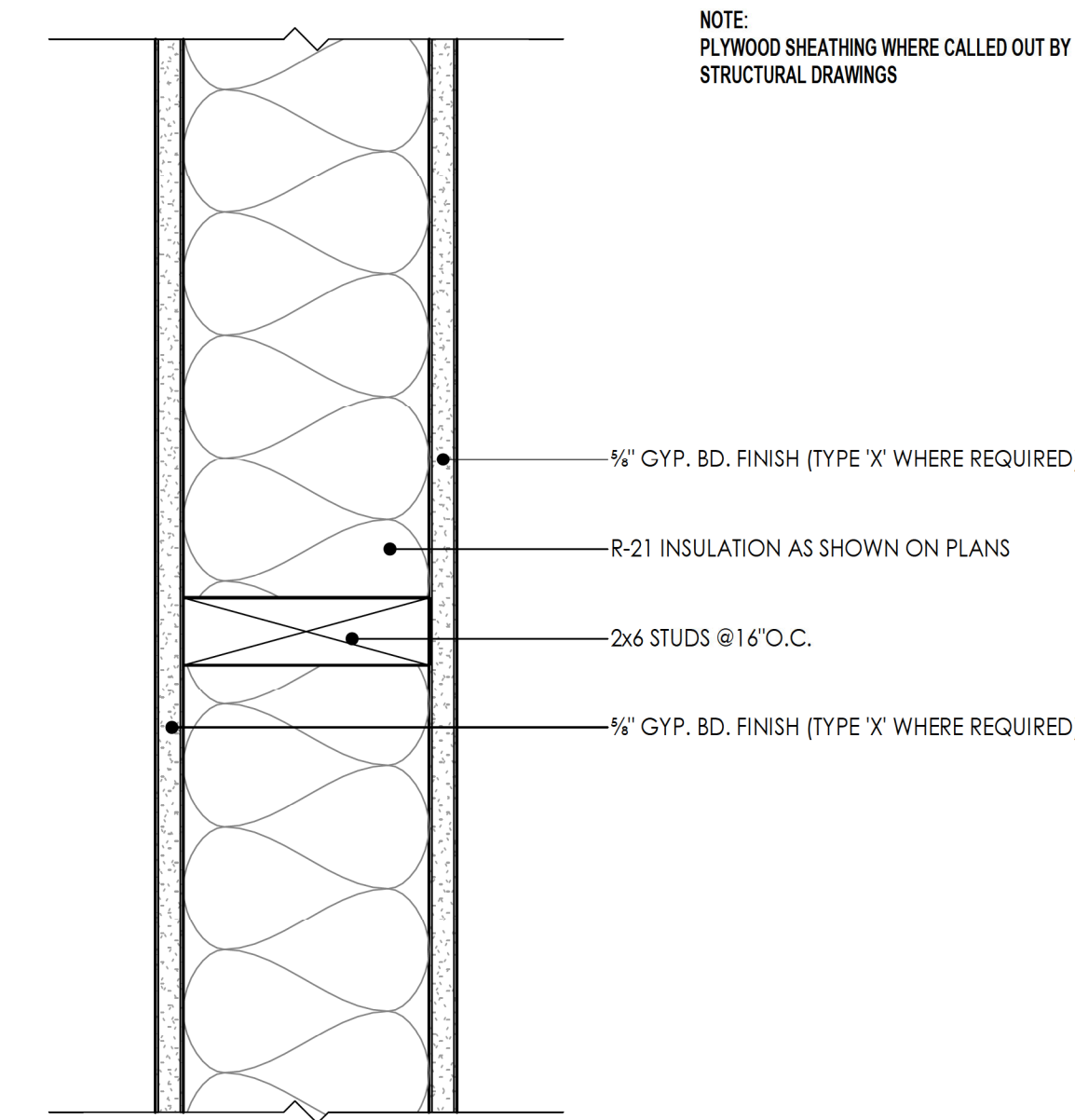
THIS DRAWING TO BE READ IN CONJUNCTION WITH ALL RELATED DRAWINGS. DO NOT SCALE FROM THIS DRAWING. EVOKE DESIGN IS TO BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCY. THIS DRAWING IS COPYRIGHTED AND REMAINS THE PROPERTY OF EVOKE DESIGN.

DOOR & WINDOW SCHEDULES & DETAILS

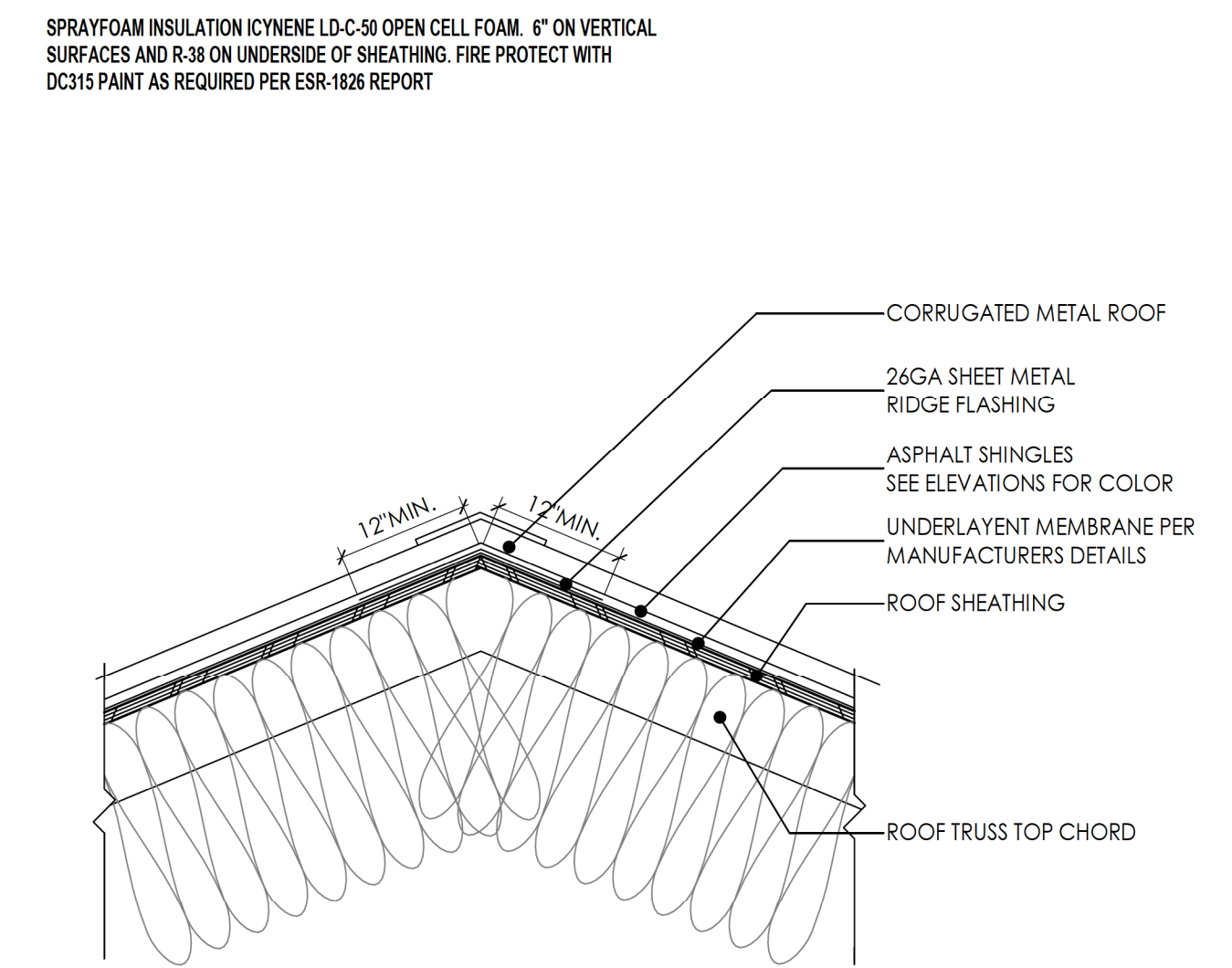
A601

9/9/2024 3:56:49 PM

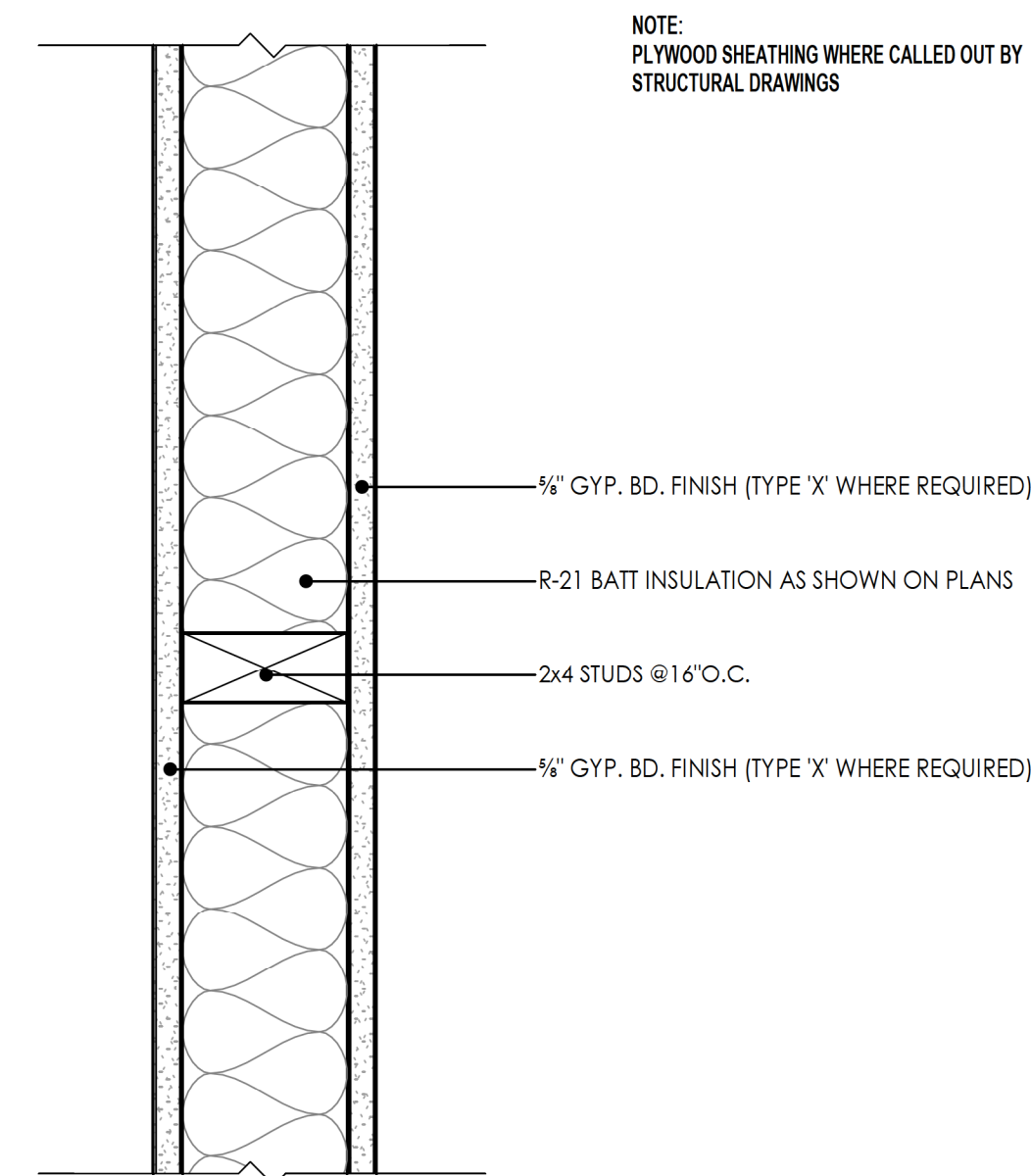
11/17/2014 2:04



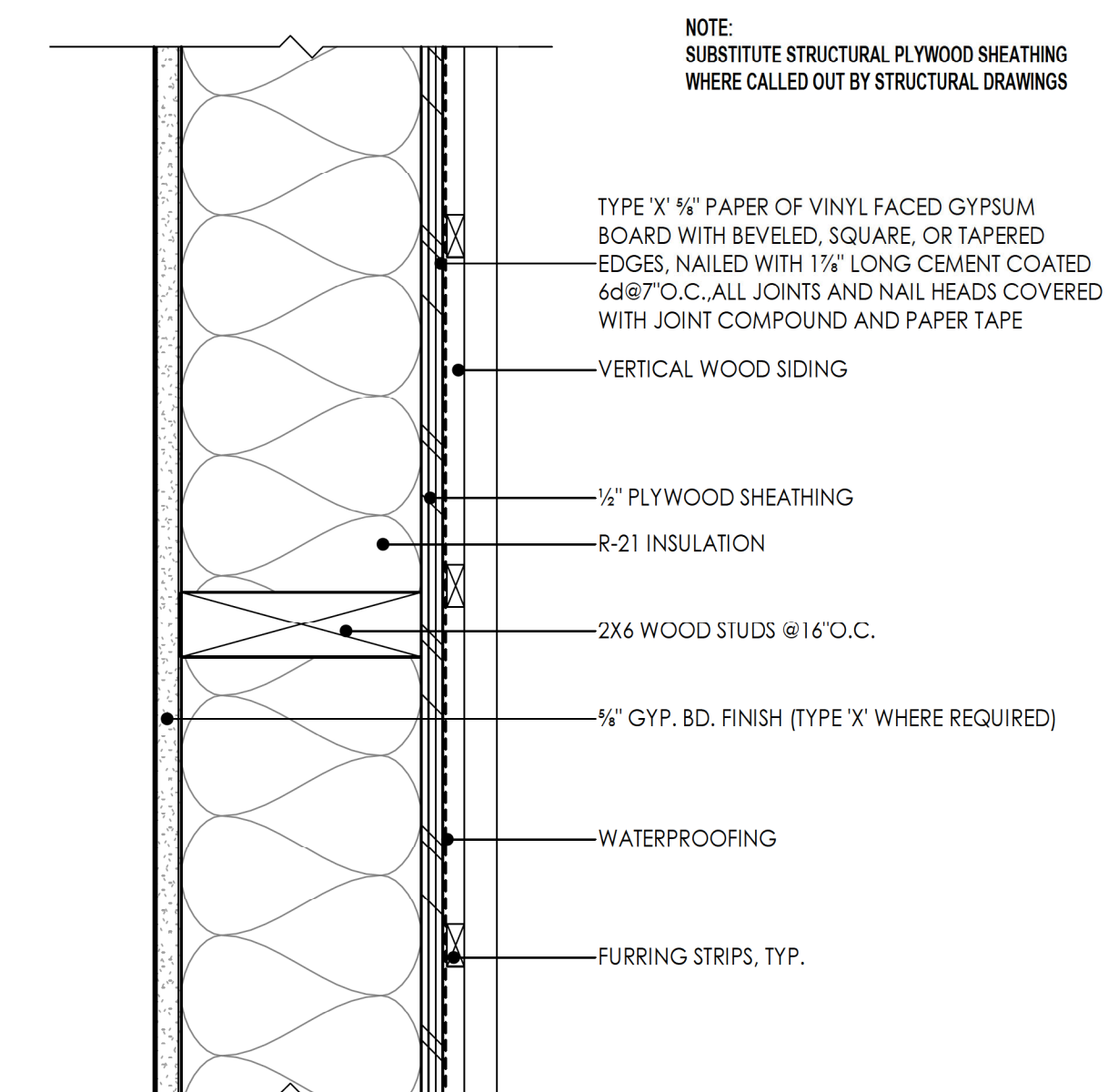
2x6 WOOD STUDS
3" = 1'-0" **06**



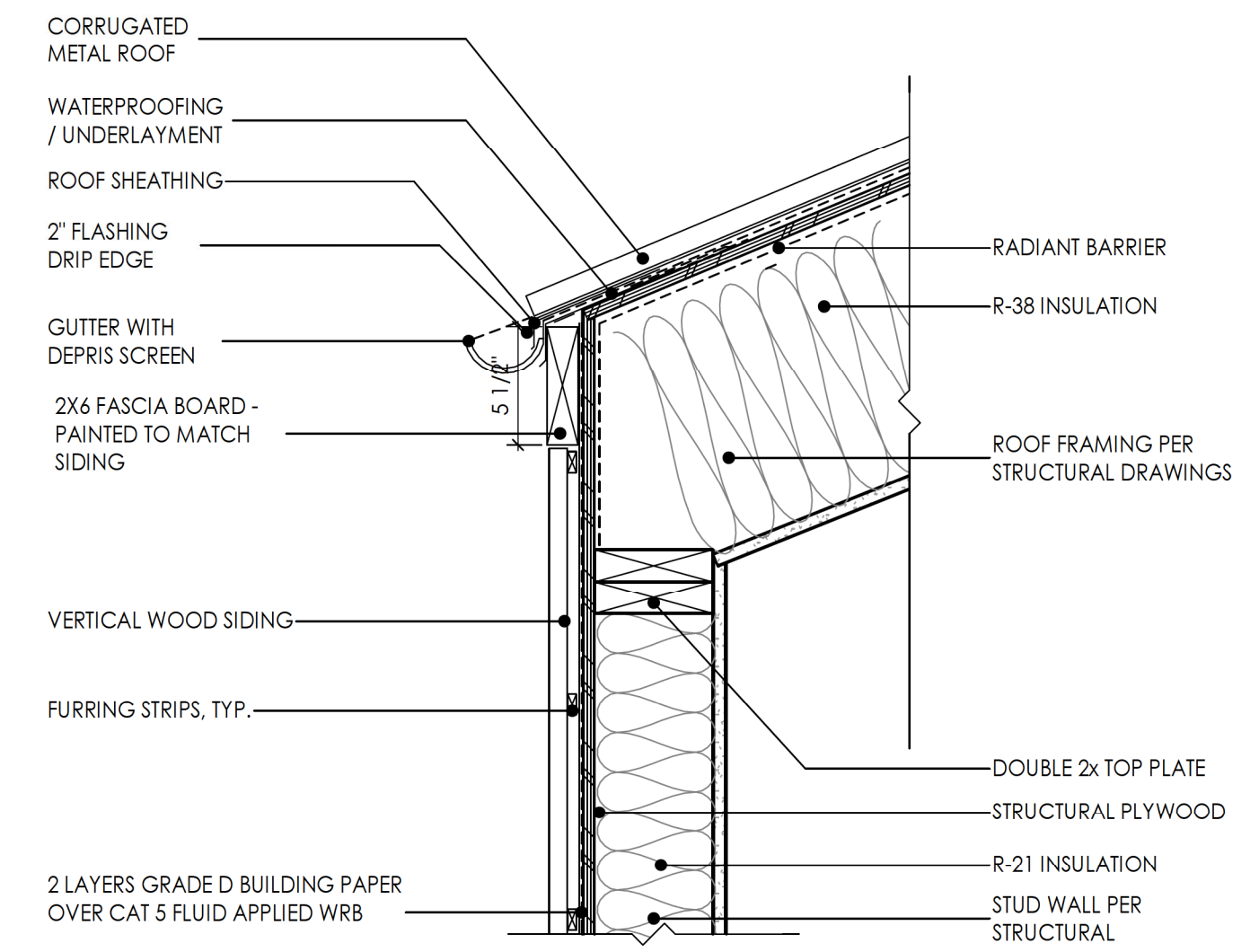
TYPICAL ROOF RIDGE
1 1/2" = 1'-0" **03**



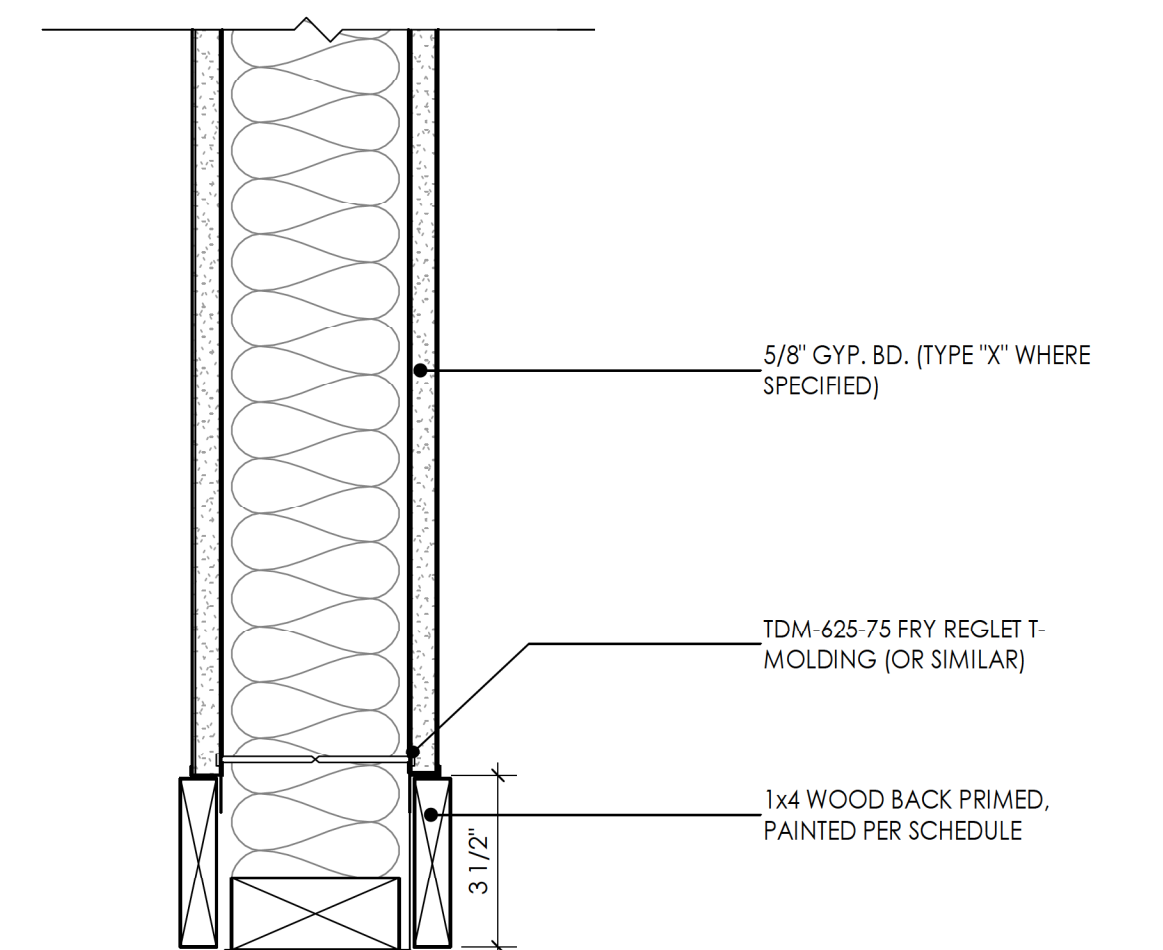
2x4 WOOD STUDS
3" = 1'-0" **08**



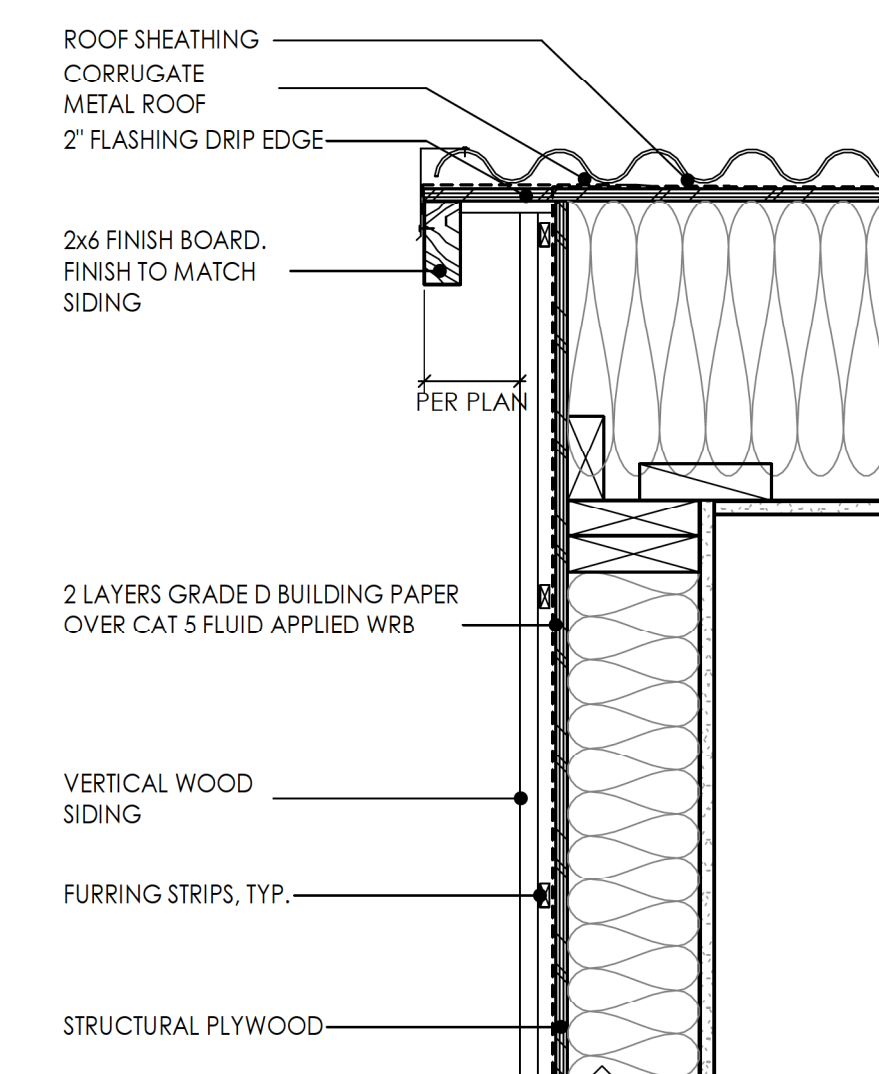
WOOD STUDS WITH VERTICAL WOOD SIDING FINISH
3" = 1'-0" **05**



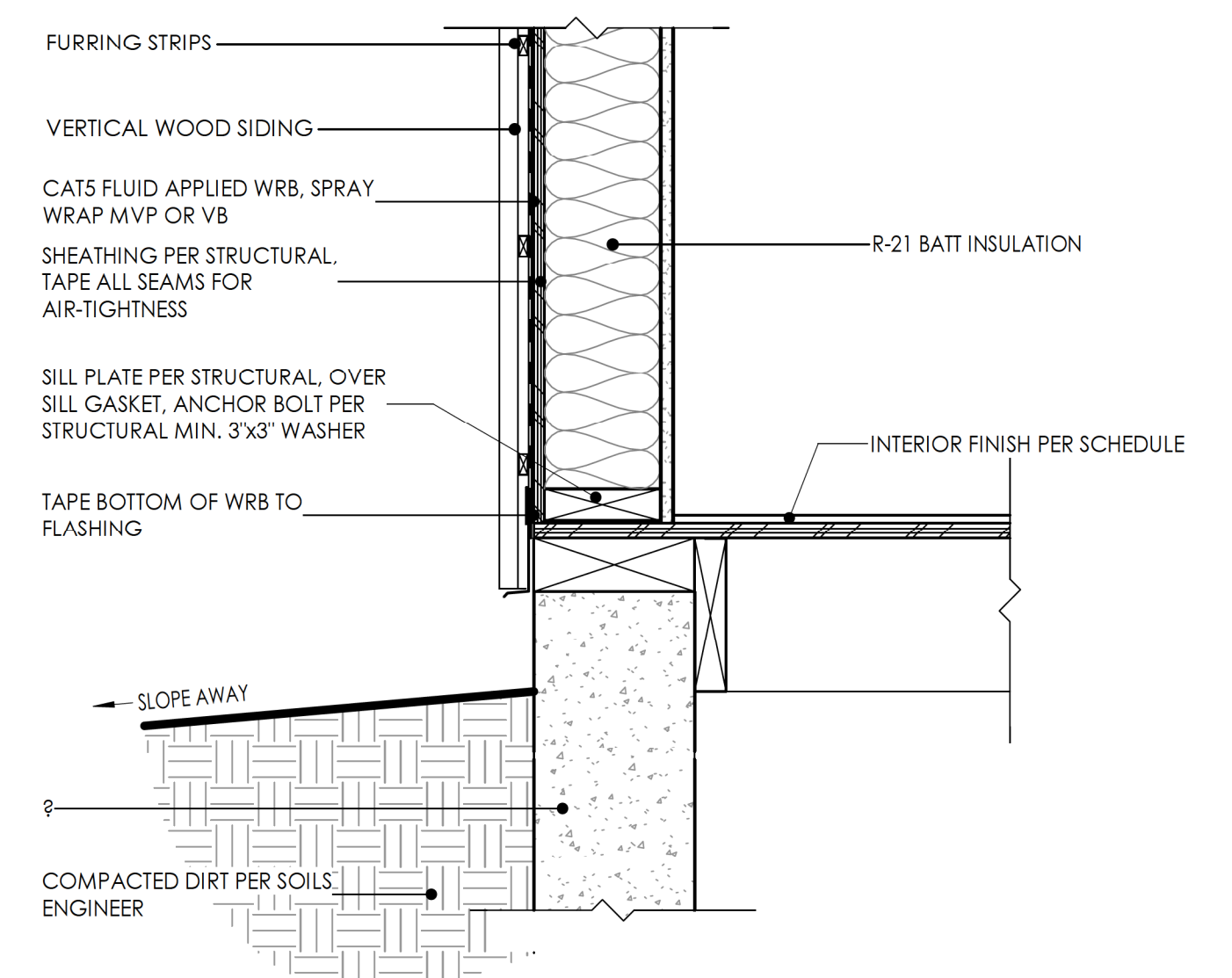
SHINGLE ZERO EAVE DETAIL
1 1/2" = 1'-0" **02**



WOOD BASE
3" = 1'-0" **07**



ROOF SHINGLE RAKE - WOOD SIDING
1 1/2" = 1'-0" **04**



TYP. RAISED FLOOR @ EXT. WOOD SIDING
1 1/2" = 1'-0" **01**

Client
NICK MASON
2200 CARLTON WAY
SANTA BARBARA, CA

CDP SUBMITTAL

| DRAWING REVISION | | |
|------------------|-------------|------|
| NO. | DESCRIPTION | DATE |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |

THIS DRAWING TO BE READ IN CONJUNCTION WITH ALL RELATED DRAWINGS. DO NOT SCALE FROM THIS DRAWING. EVOKE DESIGN IS TO BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCY. THIS DRAWING IS COPYRIGHTED AND REMAINS THE PROPERTY OF EVOKE DESIGN.

DETAILS

2200 CARLTON

2200 CARLTON WAY
SANTA BARBARA, CA 93109

Designer:



P.O. BOX 1104 SANTA BARBARA, CA 93102 (805) 837-0009



9/9/2024 3:55:17 PM

Client
NICK MASON
2200 CARLTON WAY
SANTA BARBARA, CA

CDP SUBMITTAL

DRAWING REVISION
NO. DESCRIPTION

DATE

| NO. | DESCRIPTION | DATE |
|-----|-------------|------|
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |

THIS DRAWING TO BE READ IN CONJUNCTION WITH ALL RELATED DRAWINGS. DO NOT SCALE FROM THIS DRAWING. EVOKE DESIGN IS TO BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCY. THIS DRAWING IS COPYRIGHT AND REMAINS THE PROPERTY OF EVOKE DESIGN.

GRAPHICS

A901

2200 CARLTON

2200 CARLTON WAY
SANTA BARBARA, CA 93109

Designer:



P.O. BOX 1104 SANTA BARBARA, CA 93102 (805) 837-0009



Client
NICK MASON
2200 CARLTON WAY
SANTA BARBARA, CA

CDP SUBMITTAL

DRAWING REVISION

NO. DESCRIPTION DATE

| NO. | DESCRIPTION | DATE |
|-----|-------------|------|
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |

THIS DRAWING TO BE READ IN CONJUNCTION WITH ALL RELATED DRAWINGS. DO NOT SCALE FROM THIS DRAWING. EVOKE DESIGN IS TO BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCY. THIS DRAWING IS COPYRIGHT AND REMAINS THE PROPERTY OF EVOKE DESIGN.

RENDERINGS

A902

9/9/2024 3:55:21 PM

2200 CARLTON

2200 CARLTON WAY
SANTA BARBARA, CA 93109

Designer:



P.O. BOX 1104 SANTA BARBARA, CA 93102 (805) 837-0009



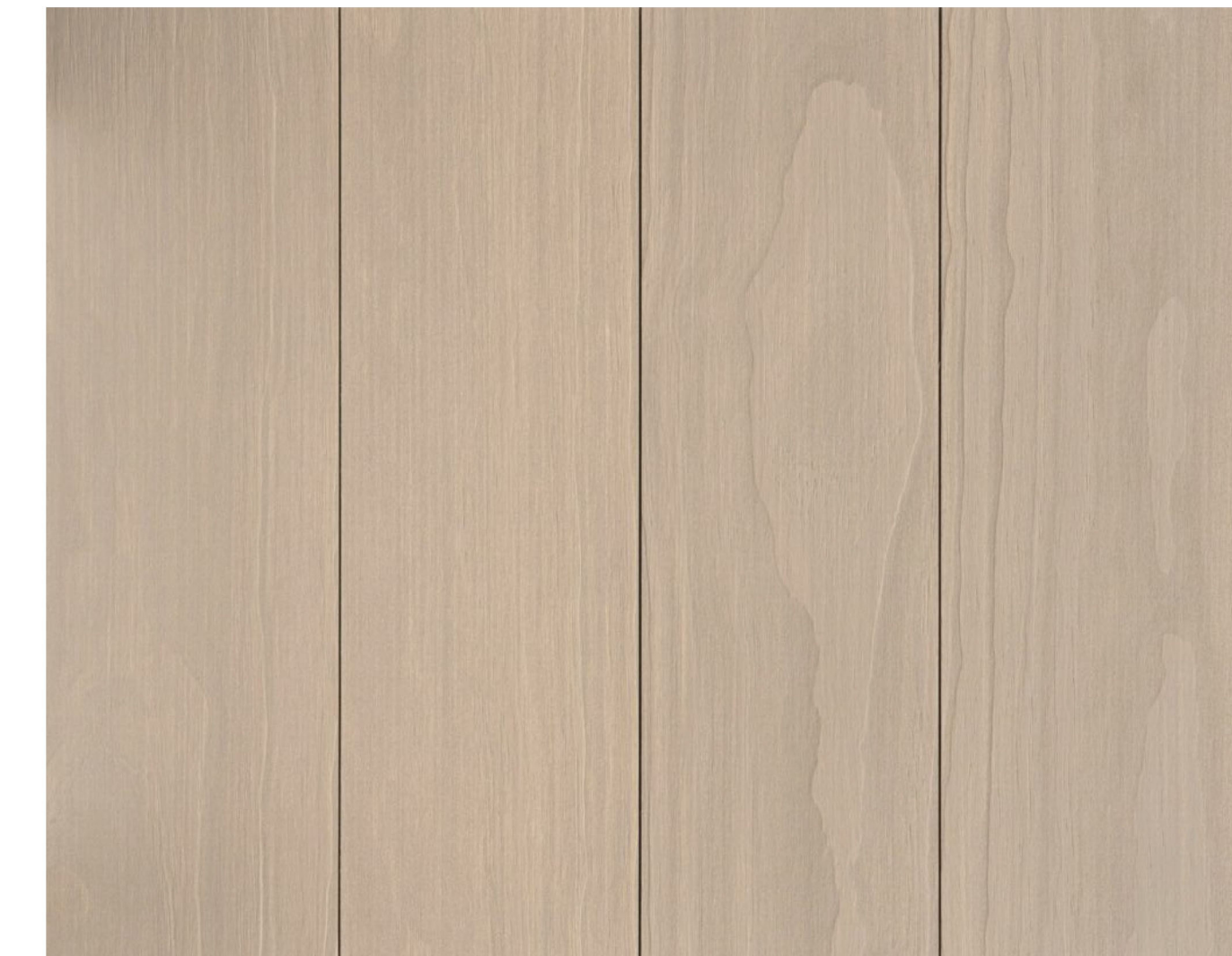
METAL TRELLIS - REFERENCE IMAGE
1/2" = 1'-0" 06



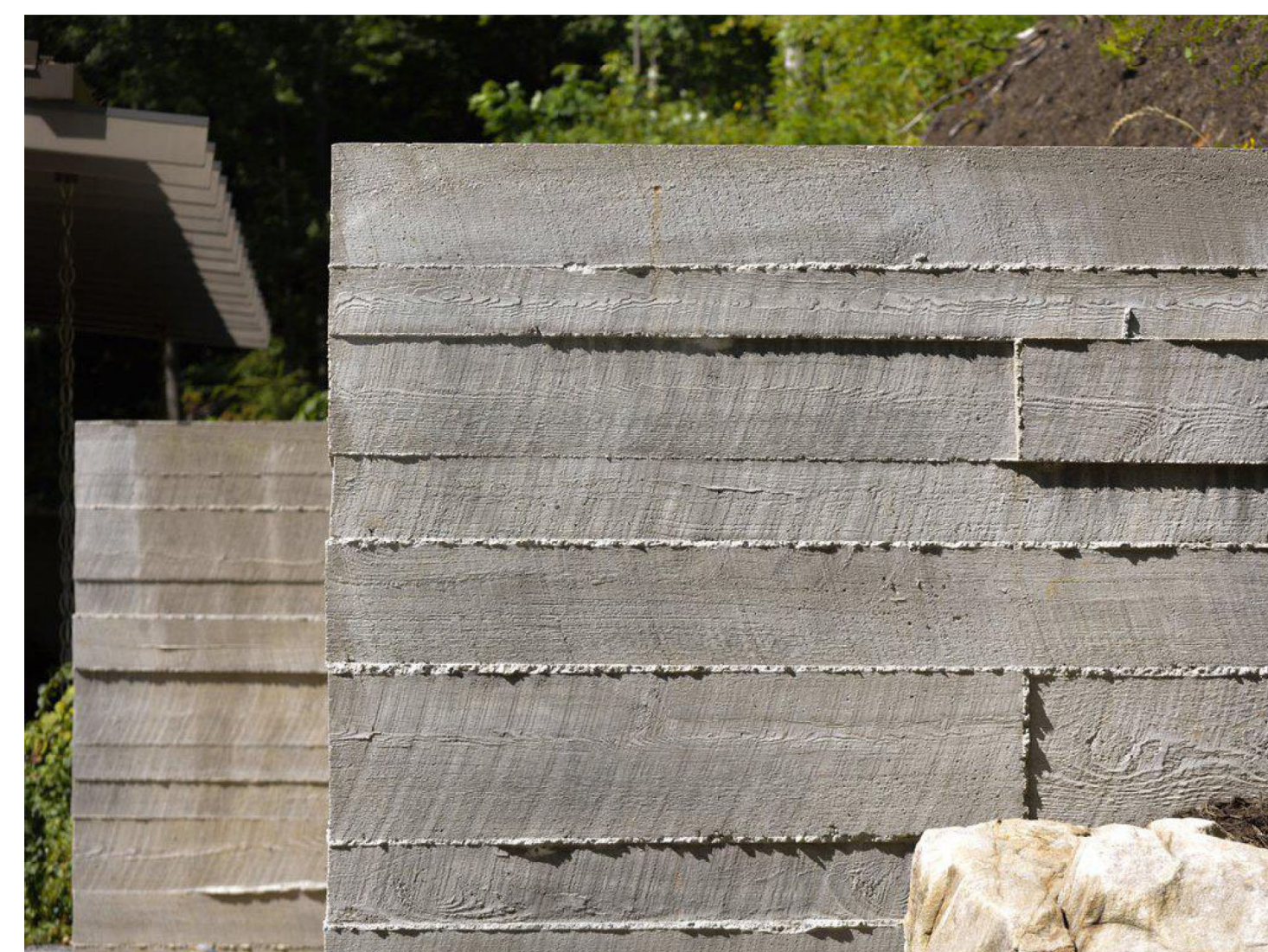
DARK BRONZE - ALUM. CLAD WINDOWS & DOORS
1/2" = 1'-0" 03



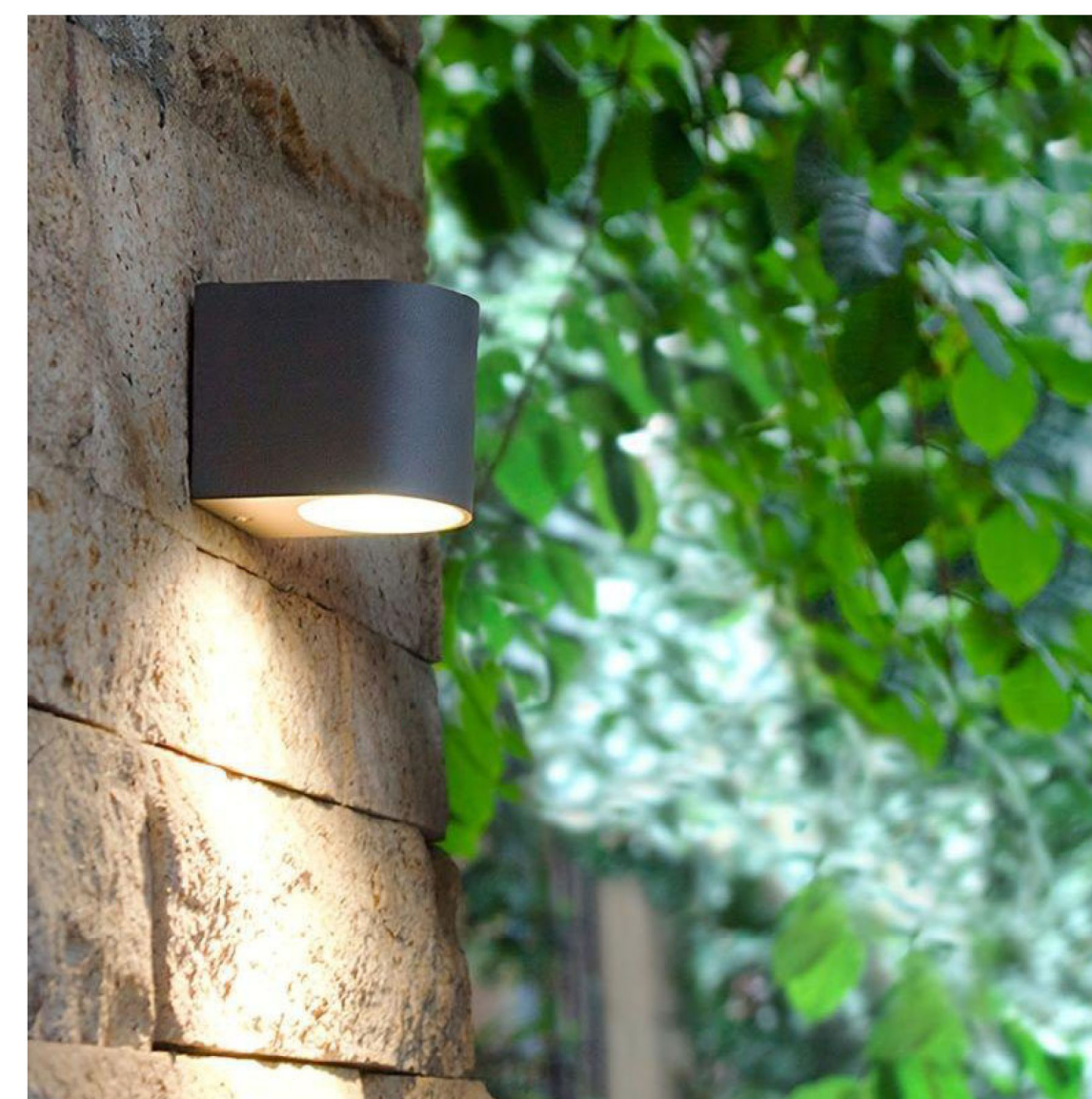
GREY SMOOTH TROWEL PLASTER
1/2" = 1'-0" 05



VERTICAL WOOD CLADDING - ACCOYA WOOD
1/2" = 1'-0" 02



BOARD FORMED CONCRETE SITE WALL
1/2" = 1'-0" 07



EXTERIOR LIGHT FIXTURE
1/2" = 1'-0" 04



GALVANIZED CORRUGATED METAL ROOF
1/2" = 1'-0" 01

Client
NICK MASON
2200 CARLTON WAY
SANTA BARBARA, CA

CDP SUBMITTAL

DRAWING REVISION

| NO. | DESCRIPTION | DATE |
|-----|-------------|------|
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |

THIS DRAWING TO BE READ IN CONJUNCTION WITH ALL RELATED DRAWINGS. DO NOT SCALE FROM THIS DRAWING. EVOKE DESIGN IS TO BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCY. THIS DRAWING IS COPYRIGHTED AND REMAINS THE PROPERTY OF EVOKE DESIGN.

MATERIAL & COLOR SAMPLES

A910

2200 CARLTON

2200 CARLTON WAY
SANTA BARBARA, CA 93109

Designer:



P.O. BOX 1104 SANTA BARBARA, CA 93102 (805) 837-0009

2200 CARLTON
2200 CARLTON WAY
SANTA BARBARA, CA 93109



Client:

NICK MASON
2200 CARLTON WAY
SANTA BARBARA, CA

CDP SUBMITTAL

DRAWING REVISION

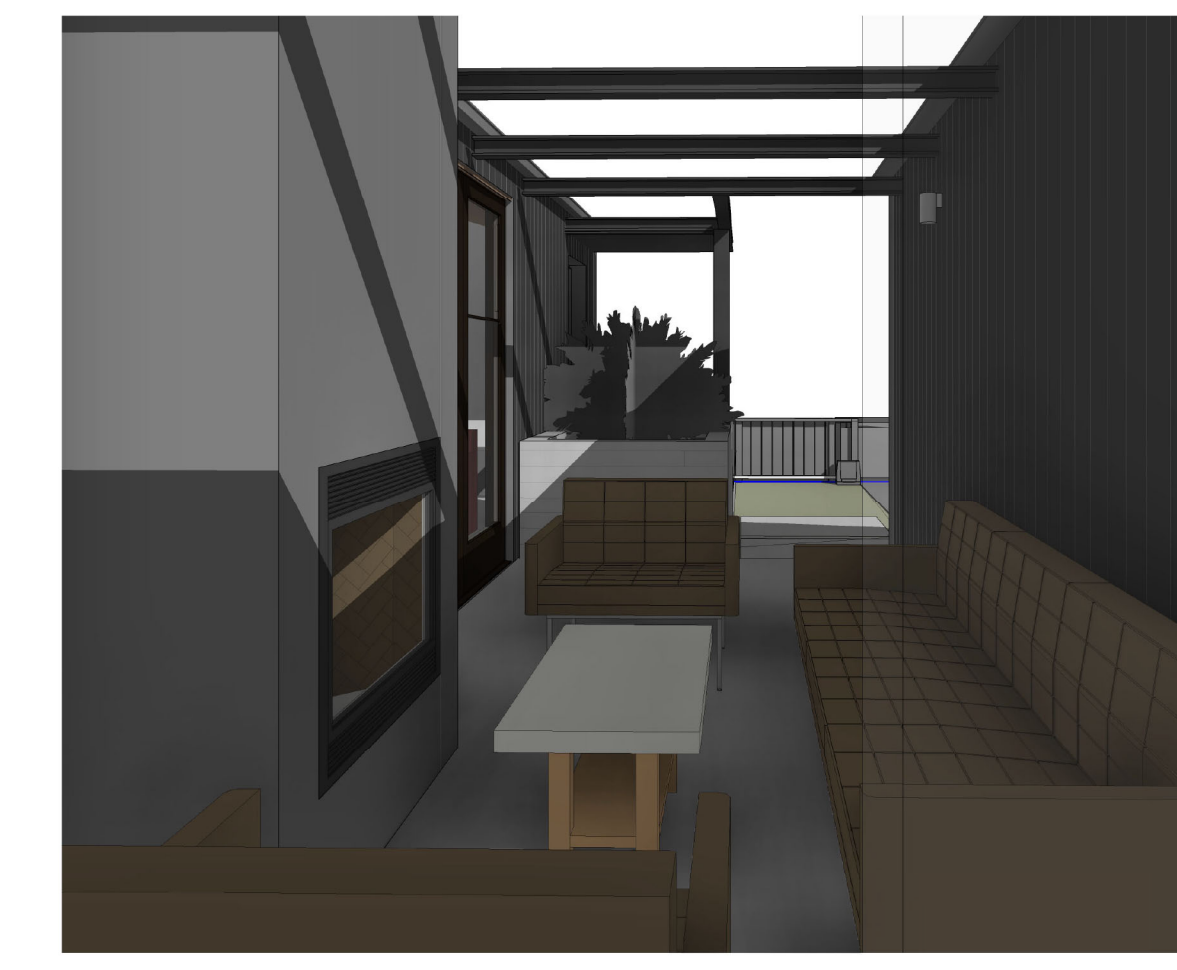
NO. DESCRIPTION DATE

| NO. | DESCRIPTION | DATE |
|-----|-------------|------|
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |

GRAPHICS

A901

2ND CONCEPT - CDP SUBMITTAL



2200 CARLTON
2200 CARLTON WAY
SANTA BARBARA, CA 93109



Client
NICK MASON
2200 CARLTON WAY
SANTA BARBARA, CA

CDP SUBMITTAL

DRAWING REVISION

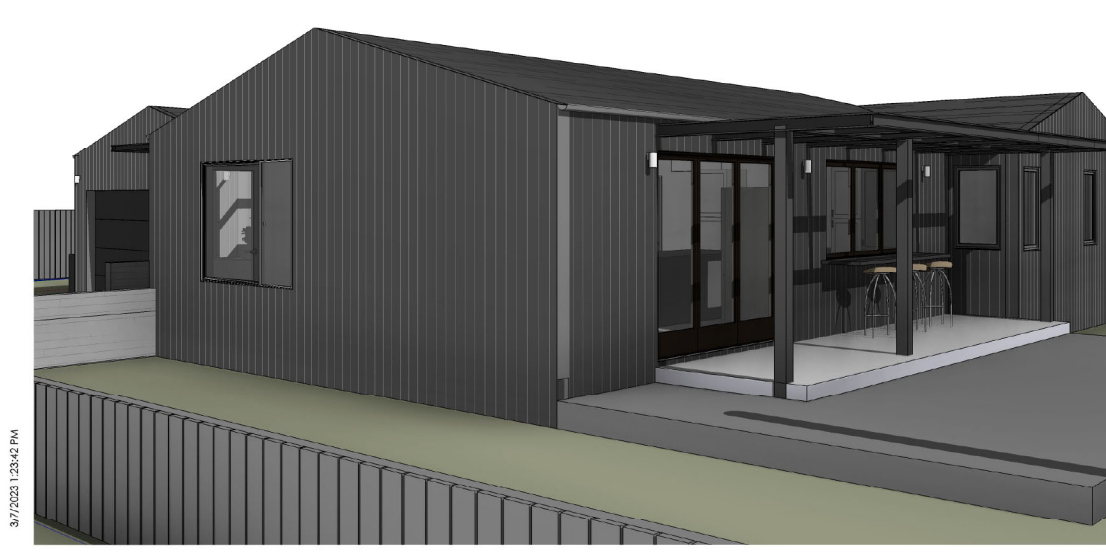
NO. DESCRIPTION DATE

| NO. | DESCRIPTION | DATE |
|-----|-------------|------|
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |

GRAPHICS

A901

1ST CONCEPT - CDP SUBMITTAL



Client:

NICK MASON
2200 CARLTON WAY
SANTA BARBARA, CA

CDP SUBMITTAL

DRAWING REVISION

NO. DESCRIPTION DATE

| NO. | DESCRIPTION | DATE |
|-----|-------------|------|
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |

GRAPHICS

A901

THIS DRAWING TO BE READ IN CONJUNCTION WITH ALL RELATED DRAWINGS. DO NOT SCALE FROM THIS DRAWING. EVOKE DESIGN IS TO BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCY. THIS DRAWING IS COPYRIGHT AND REMAINS THE PROPERTY OF EVOKE DESIGN.

PREVIOUS DESIGN OPTIONS

A911



PRELIMINARY LANDSCAPE LEGEND

| SYMBOL | DESCRIPTION |
|--------|---|
| 1 | (N) CONCRETE DRIVEWAY, TOPCAST W/ INTEGRAL COLOR TBD |
| 2 | (N) ENTRY GARDEN WITH RAISED PLANTER AND SPECIMEN TREES. CAST IN PLACE CONCRETE PAVERS. |
| 3 | (N) ENTRY DECK WITH LOUNGE & BAR AREA WITH COVERED DINING. ACCENT PLANTERS AND ENTRY STEPS. |
| 4 | (N) SIDE YARD GARDEN WITH CONCRETE PAVERS AND ACCENT PLANTING. |
| 5 | (N) GRAVEL GARDEN WITH LOUNGE FURNITURE. |
| 6 | (N) BACK DECK TERRACE AND SPECIMEN PLANTING ACCENTS. |
| 7 | (N) MASTER SUITE GARDEN WITH FAUX TURF. |
| 8 | (E) HEDGE TO REMAIN AND TRIMMED TO MAX HEIGHT 42". |
| 9 | (N) LOW WATER USE STREETSCAPE PLANTING WITH ACCENT TREES. |
| 10 | (N) 3'-6" HT FENCE. |
| 11 | (E) 6'-0" HT. FENCE TO REMAIN. |
| 12 | (N) SIDE YARD DECK. |
| 13 | (N) PRIVACY SCREENING HEDGE. |
| 14 | TRASH STAGING AREA. |
| 15 | (E) PEPPER TREE TO REMAIN |
| 16 | (N) 3'-6" SLIDING VEHICULAR GATE. |

PROJECT STATISTICS

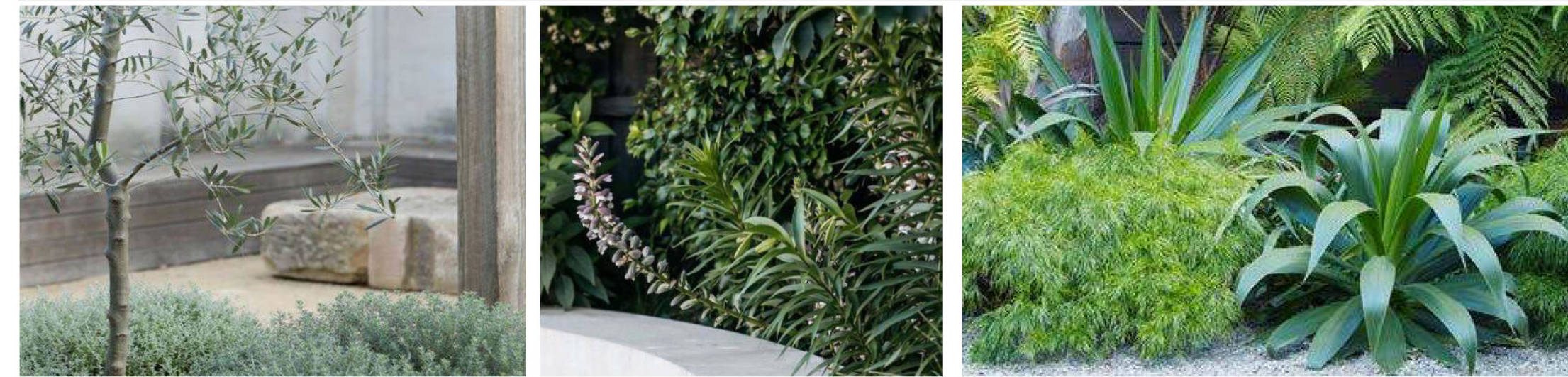
| DESCRIPTION |
|--|
| SITE: |
| IMPERVIOUS HARDSCAPE AREA (INCLUDING DECKS) - 2,240 SF |
| PERVIOUS HARDSCAPE AREA - 450 SF |
| PLANTING AREA - 3,100 SF |
| IRRIGATION: |
| METHOD: 100% DRIP |
| 70% LOW WATER USE = 2,170 SF |
| 30% MEDIUM WATER USE = 930 SF |
| TREES: |
| TOTAL REMOVALS: (4) TOTAL |
| REPLACEMENTS: (7) TOTAL |

PLANT LIST

- TREES**
 ARBUTUS 'MARINA' / STRAWBERRY TREE
 ARCHONTOPHOENIX CUNNINGHAMIANA / KING PALM
 CITRUS SPECIES
 OLEA 'FRUITLESS' / FRUITLESS OLIVE
- SHRUBS**
 AGAVE 'BLUE FLAME'
 AGAVE 'BLUE GLOW'
 GREVILLEA 'MOONLIGHT' / GREVILLEA
 LAURUS NOBILIS / SWEET BAY
 LOMANDRA LONGIFOLIA 'BREEZE' / DWARF MAT RUSH
 MELIANTHUS MAJOR / HONEY BUSH
 PITTOSPORUM 'GOLF BALL' / GOLF BALL PITTOSPORUM
 SESLERIA AUTUMNALIS / AUTUMN MOOR GRASS
 WESTRINGIA 'SMOKEY' / SMOKEY COAST ROSEMARY
- GROUNDCOVERS / PERENNIALS**
 ARCTOSTAPHYLOS / MANZANITA
 CEANOETHUS 'YANKEE POINT' / YANKEE POINT CEANOETHUS
 DIANELLA 'LITTLE REV' / LITTLE REV FLAX LILY
 NO MOW FESCUE
 SENECIO SERPENS / BLUE CHALKSTICKS

City of Santa Barbara Water Efficient Landscape Standards (WELS) Worksheet

| | | | | | | |
|--|-------------|--------------------------------|------------------------|---|------------------------------------|------------------------------------|
| Project Type | Residential | | | | | |
| Local ETo | 45.13 | | | | | |
| Add A Hydrozone | | | | | | |
| Definitions | Hydrozone # | Plant Factor = PF ³ | Select Irrigation Type | Irrigation Efficiency = (IE) ⁴ | ET Adjustmet Factor (ETAF) = PF/IE | Irrigated Landsc Area (LA) sq. ft. |
| | 1 | 0.3 | Drip | 0.81 | 0.37 | 2170 |
| | 2 | 0.6 | DRIP | 0.81 | 0.74 | 930 |
| *City of Santa Barbara WELS max ETAF is 0.5 for residential projects, 0.37 for non-residential projects* | | | | | | |
| Project ET Adjustment Factor (ETAF) ⁵ | | | | | | 0.48 |
| Total LA (sq. ft.) | | | | | | 3100 |
| Estimated Total Water Use (ETWU) ⁶ | | | | | | 41763.64 |
| Maximum Applied Water Allowance (MAWA) | | | | | | |
| MAWA = ETo * 0.62 * ETAF * LA | | | | | | 43369.93 |
| Is ETWU < MAWA? | | | | | | YES |



2200 CARLTON

2200 CARLTON WAY
 SANTA BARBARA, CA 93109
 Designer:
EVOKE
 DESIGN STUDIO
 P.O. BOX 1104 SANTA BARBARA, CA 93102 (805) 837-9209

Landscape designer
 BRIDGET WALKER
 1342 SAGE HILL ROAD
 SANTA BARBARA, CA 93109
 BRIDGETWALKER@GMAIL.COM

Client
 NICK MASON
 2200 CARLTON WAY
 SANTA BARBARA, CA

CDP SUBMITTAL

| DRAWING REVISION | DATE |
|------------------|------|
| NO. DESCRIPTION | |
| | |
| | |
| | |
| | |
| | |
| | |
| | |
| | |

SCALE: 1/4" = 1'-0"

PRELIMINARY LANDSCAPE PLAN

PL-1



JavaScript Decibel Calculators
Inverse Square Law * Power Ratios * Voltage Ratios * T and H-Pads
Combining Decibels * Atmospheric Absorption

Decibels and Distance

This calculator requires a JavaScript capable browser

This calculation will give you the amount of attenuation, in decibels, you can expect with a change in receiver distance, in a free field (outdoors). For example if you were standing 10 feet from a noise source, and were to move 100 feet away from that noise source, you would expect to see a drop in level of 20dB. Sound that is radiated from a point source drops in level at 6dB per doubling of distance. If you start at 50 feet from the source and move to 100 feet from the source you will have a 6dB drop in level. If you move from 500 feet to 1000 feet, you will have a 6dB drop in level. For the record, the formula to calculate this level drop is: Decibels of Change = 20xlog(distance 1/distance 2), and you can calculate it on any scientific calculator.

| | | |
|---|--|--|
| Reference listening distance in feet or meters, from the noise source | New receiver distance in feet or meters, from the source | This is the number of decibels of level drop/rise you would find |
| 1 | 9.75 | -19.7798881841 |

HELPS
JavaScript Help

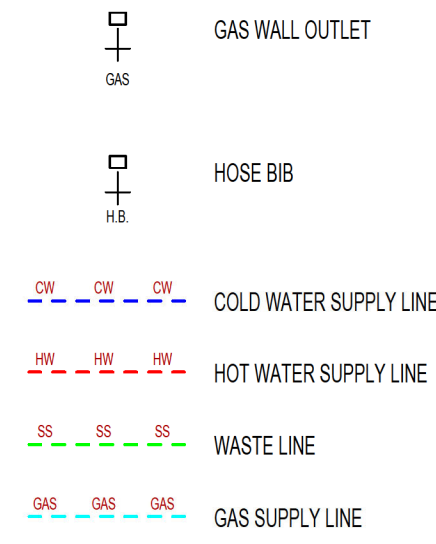
This information is provided with no warranty of its accuracy, or applicability, and any use made of this information is done so at the sole risk of the user.



MC² Squared System Design Group, Inc.
323 - 901 West 3rd Street, North Vancouver, BC, V7P 3P9 Ph: 604-986-8181
116-5102 Anderson Way, Vernon, BC V1T 2C4 Ph: 604-858-8101
403 - 1240 Kensington Rd NW, Calgary, AB, T2N 3P7 Ph: 403-432-2263
System Design Group 901 King Street West, Suite 400, Toronto, ON, M5V 2H5 Ph: 416-479-8801

73 dB - 19.8 = 53 dB dB NOISE CALCULATOR - HEAT PUMP

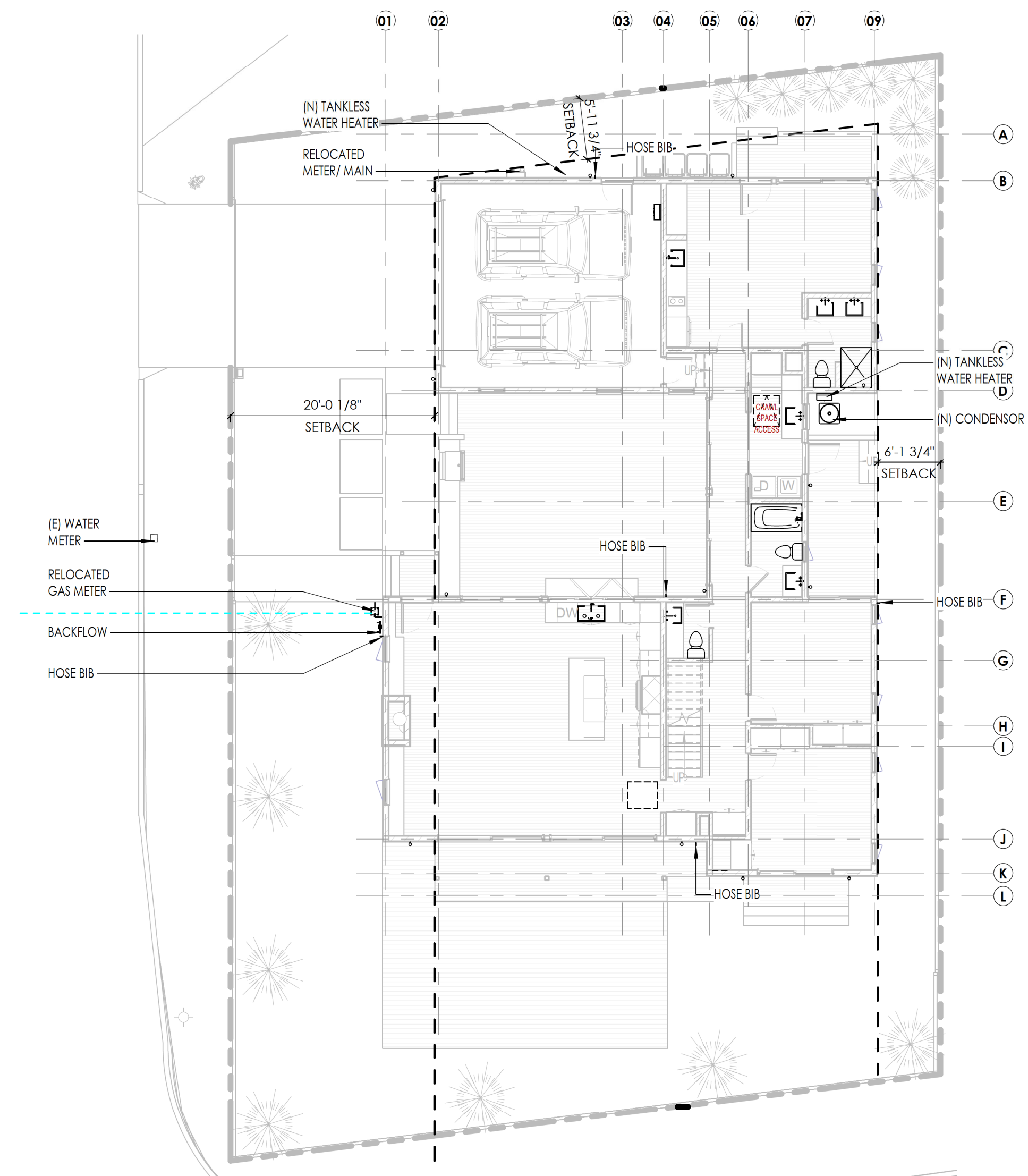
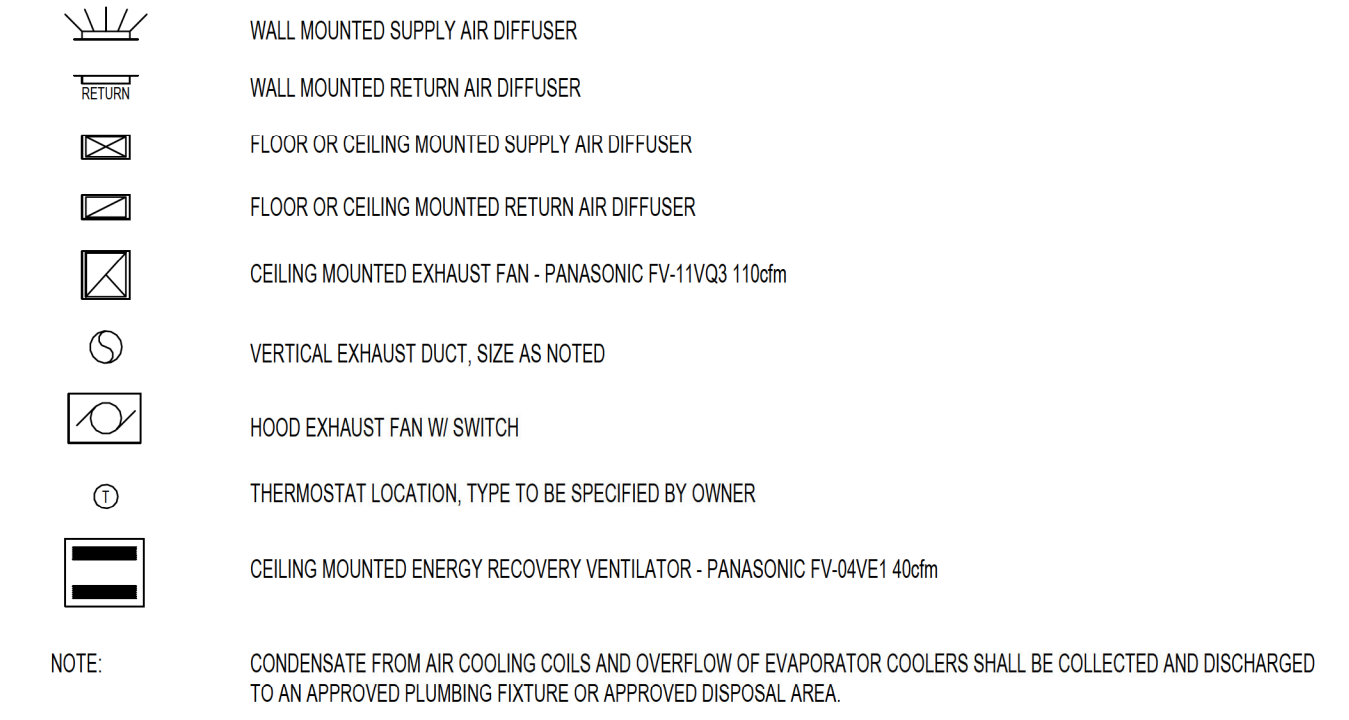
PLUMBING SYMBOLS LEGEND



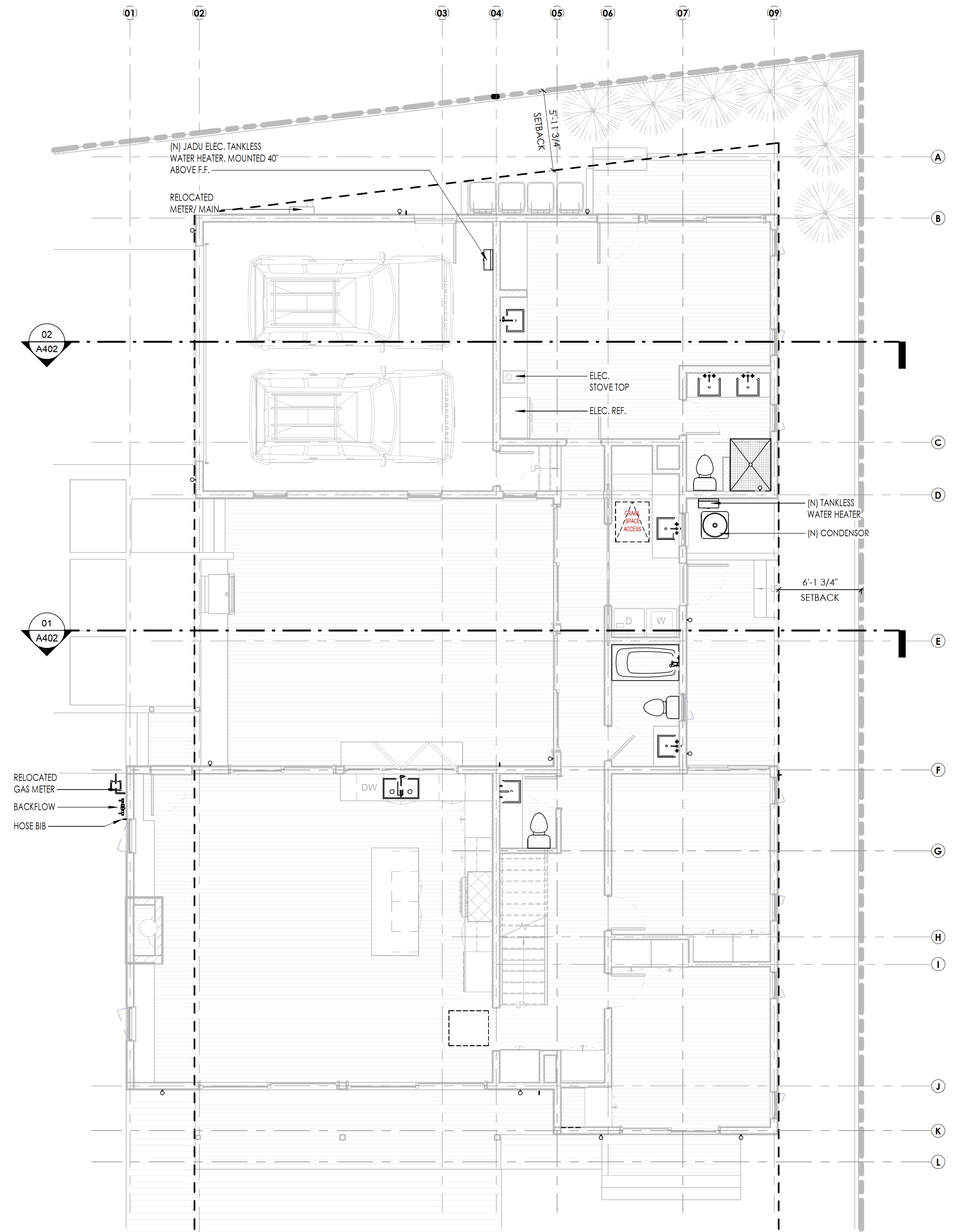
MECHANICAL SHEET NOTES

- CONTRACTOR SHALL LABEL WHOLE HOUSE VENTILATION SYSTEM AND PROVIDE INSTRUCTIONS ON ITS USE.
- CONTRACTOR SHALL HAVE A COMPLETED FORM CP2R-MCH-27-H ON-SITE AT THE TIME OF INSPECTION
- ALL EXHAUST OUTLETS SHALL MAINTAIN A MIN. 3'-0" CLEARANCE FROM ANY OPERABLE OPENINGS.
- RANGE HOOD SHALL VENT TO THE OUTSIDE PER MANUFACTURER'S REQUIREMENTS. RANGE HOOD ABOVE 400 CFM SHALL REQUIRE MAKE UP AIR. CONFIRM RANGE HOOD SPECIFICATIONS.
- PROVIDE CONDENSATE DRAIN LINE IN ACCORDANCE WITH CMC 802.9
- PROVIDE ACCESS PANELS AND CLEARANCES PER MANUFACTURER'S INSTALLATION REQUIREMENTS
- HEAT SOURCE AND CONTROLS COORDINATION EXACT LOCATION OF EQUIPMENT WITH DESIGNER AND ALL TRADES PRIOR TO INSTALLATION OR ORDERING EQUIPMENT
- PROVIDE A MEANS OF DISCONNECT ADJACENT TO AND WITHIN SITE OF THE EQUIPMENT PER 2016 CMC 310.0 AND A 120V RECEPTACLE WITHIN 25'-0" OF EQUIPMENT. NOT CONNECTED TO DISCONNECT?
- PROVIDE MANUFACTURER'S INSTALLATION SPECIFICATIONS AND REQUIREMENTS ON SITE FOR FIELD INSPECTION.
- PROVIDE PRESSURE RELIEF AND BACKFLOW PREVENTER FOR WATER HEATER PER 2016 CPC 608.4.
- HEAT SOURCE PIPE AND TERMINATION TO BE DETERMINED PER OPTIONS ON HEAT SOURCE VENT SHEET. COORDINATE WITH GENERAL AND PROPOSED OPTIONS TO BE APPROVED BY DESIGNER AND OWNER
- PROVIDE WALL OR FLOOR SINK (INDIRECT WASTE) FOR WATER HEATER CONDENSATE REMOVAL AND PRESSURE RELIEF
- CONDENSATE COORDINATION EXACT LOCATION W/ DESIGNER. UNIT SHALL HAVE CLEARANCES PER MANUFACTURER REQUIREMENTS.

MECHANICAL SYMBOLS LEGEND



MAIN LEVEL MECHANICAL PLAN
1/8" = 1'-0" 2



MAIN LEVEL MECHANICAL PLAN
3/16" = 1'-0" 01

2200 CARLTON

2200 CARLTON WAY
SANTA BARBARA, CA 93109

Designer:



P.O. BOX 1104 SANTA BARBARA, CA 93102 (805) 837-0009

Client
NICK MASON
2200 CARLTON WAY
SANTA BARBARA, CA

CDP SUBMITAL

| DRAWING REVISION NO. | DESCRIPTION | DATE |
|----------------------|-------------|------|
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |

THIS DRAWING TO BE READ IN CONJUNCTION WITH ALL RELATED DRAWINGS. DO NOT SCALE FROM THIS DRAWING. EVOKE DESIGN IS TO BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCY. THIS DRAWING IS COPYRIGHTED AND REMAINS THE PROPERTY OF EVOKE DESIGN.

FIRST FLOOR MECHANICAL

MP100

Job Name/Location:
Date:
Architect:
Engr:
Rep:



LS120HW2 Single Zone Mega 115V Wall Mount Outdoor Unit (ODU) LSJ20HW2 Indoor Unit (IDU) LSN120HW2

Performance:
Cooling Capacity (Min-Rated-Max) (Btu/h) 3,070 - 12,000 - 13,780
SEER 15.5
Heating Capacity (Min-Rated-Max) (Btu/h) 3,070 - 12,000 - 13,780
Max. Heating @ Indoor 70°F DB 9,640 (80%)
Outdoor 19°F DB / 17°F WB 9.5
Heat Recovery Ventilation Performance Factor 9.5

Operating Range:
Outdoor Unit:
Cooling (T DB) 14 - 118
Heating (T WB) 14 - 65
Indoor Unit:
Cooling (T WB) 53 - 75
Heating (T DB) 60 - 86
System Data:
Refrigerant Type R410A
Refrigerant Control EVI
Refrigerant Charge (lbs.) 1.875
ODU Sound Pressure [Cooling/Heating] (1 dBA)] 52/50
IDU Sound Pressure [Cooling/Heating] (1 dBA)] 42/36/28/23
ODU Net / Shipping Weight (lbs.) 58.4 / 60
IDU Net / Shipping Weight (lbs.) 19.2 / 22

Electrical:
Power Supply (V/Hz/W) 115/60/71
Outdoor Unit:
MCA (A) 25
MCA (A) 15
Cooling Rated Amps (A) 11.4
Heating Rated Amps (A) 11.0
Compressor (A) 0.4
Total Power Input:
Cooling Power Input (kW) 1.142
Heating Power Input (kW) 1

Included Accessories:
Wireless Remote Controller - ABS74955602
Optional Accessories:
Multi-Stage ECR - PRM1B1C0
Dry Contact for Thermostat - PRM1B1C1
Thermostat - PRM1B1C0
Dry Contact for External Power - PRM1B1C2
Thermostat - PRM1B1C0



For a complete list of available accessories, contact your US Representative... LG Electronics, Inc. is the registered trademark of LG Corp.

2/28/24, 8:59 AM Rheem Performance Platinum 9.0 GPM Natural Gas High Efficiency Outdoor Tankless Water Heater ECOH180XLN-2 - The Home...

Performance Platinum 9.0 GPM Natural Gas High Efficiency Outdoor Tankless Water Heater \$1349
Product Details Specifications Questions & Answers Customer Reviews

Operating Range:
Outdoor Unit:
Cooling (T DB) 14 - 118
Heating (T WB) 14 - 65
Indoor Unit:
Cooling (T WB) 53 - 75
Heating (T DB) 60 - 86
System Data:
Refrigerant Type R410A
Refrigerant Control EVI
Refrigerant Charge (lbs.) 1.875
ODU Sound Pressure [Cooling/Heating] (1 dBA)] 52/50

Electrical:
Power Supply (V/Hz/W) 115/60/71
Outdoor Unit:
MCA (A) 25
MCA (A) 15
Cooling Rated Amps (A) 11.4
Heating Rated Amps (A) 11.0
Compressor (A) 0.4

HEAT PUMP
12" x 14" 05

Goodman GM9S96/GC9S96
Air Conditioning & Heating

HEATING INPUT: 40,000-120,000 BTU/H SINGLE-STAGE, MULTI-SPEED ECM GAS FURNACE UP TO 96% AFUE



Standard Features:
Heavy-duty aluminum-steel tubular heat exchanger
Stainless-steel secondary heat exchanger
Single-stage gas valve
Durable Silicon Nitride igniter
Quiet single-speed induced draft blower
Self-diagnostic control board with constant memory fault code history output to a LED
All models comply with California 40 ng/Low NOx emissions standard
Can no longer be installed in California's South Coast Air Quality Management District (SCAQMD) on or after October 1, 2019.
AHRI Certified, ETL Listed

SS-GM9S96/GC9S96 www.goodmanfimg.com 2/22 8/26/2021

Goodman GSXN3
Air Conditioning & Heating

ENERGY-EFFICIENT SPLIT SYSTEM AIR CONDITIONER 13.4 SEER2 / 1 1/2 TO 5 TONS



Standard Features:
Energy Efficient Compressor
Copper tube/enhanced aluminum fin coil-5mm diameter
Factory-installed filter drier
Fully charged for 15' of tubing length
Service valves with sweat connections and easy-to-access gauge ports
Contactor with lug connection
Ground lug connection
AHRI Certified
ETL Listed

SS-GSXN3 www.goodmanfimg.com 12/22

WhisperSense DC FV-051VQC1

Specification Submittal Data / Panasonic Precision Spot Ventilation Fan with Dual Sensor Technology

Product Height (in.) 27.5 in
Product Width (in.) 18.5 in
Vent Diameter (in.) 0 in
Water Connection Size (in.) 3/4 in
Application Type Residential
BTU Rating 18000
Efficiency Level Super High
Finish Family Gray
Fitted Hour of Delivery (gals/hrs) 40

Specifications: WhisperSense DC FV-051VQC1
Static Pressure in inches w.g. 0.11 0.25 0.1 0.25 0.1 0.25
Air Volume CFM 170 101 88 65 51 43
Power Consumption (watts) 10.6 16.4 5.9 10.1 4.0 7.2
Energy Efficiency CFM/Watt 16.6 8.9 13.6 7.7 13.3 7.4

Panasonic Exhaust Fan 12" x 10" 04

2/28/24, 8:59 AM Rheem Performance Platinum 9.0 GPM Natural Gas High Efficiency Outdoor Tankless Water Heater ECOH180XLN-2 - The Home...

Product Height (in.) 27.5 in
Product Width (in.) 18.5 in
Vent Diameter (in.) 0 in
Water Connection Size (in.) 3/4 in

Details:
Application Type Residential
BTU Rating 18000
Efficiency Level Super High
Finish Family Gray
Fitted Hour of Delivery (gals/hrs) 40
Flow Rate @ 20" Rise (gals/min) 9.2 gal (US)/min
Flow Rate @ 30" Rise (gals/min) 7.5 gal (US)/min
Flow Rate @ 50" Rise (gals/min) 6.1 gal (US)/min
Flow Rate @ 80" Rise (gals/min) 5.2 gal (US)/min
Gas Connection Size 3/4 in
Gas Type Natural Gas
Heat Exchanger Warranty 12 Year

Performance Curve 4" Duct
120/100Hz Duct diameter shall be no less than 4" inclusive of an integrated dual 4" or 6" duct adapter. Dual motion and humidity sensors with adjustable delay off time that can be set from 30 seconds to 60 minutes. Humidity sensor will activate fan when humidity reaches RH type with accuracy no less than 1.5% (1.0% RH) CFM/Watt at 0.1 w.g. and 7.0/10.0/10.4 w.g. at 0.25 w.g. The motor shall be totally enclosed with a brushless ECM motor equipped for continuous duty. ECM motor speed shall automatically increase when the fan senses static pressure to maintain selected CFM. Power rating shall be 18000.

SS-GM9S96/GC9S96 www.goodmanfimg.com 3

GM9S96 PRODUCT SPECIFICATIONS

Table with columns for model numbers (GM9S96-GAS3AN, GM9S96-GAS3BN, GM9S96-GAS3CN, GM9S96-GAS3DN, GM9S96-GAS3EN, GM9S96-GAS3FN, GM9S96-GAS3GN, GM9S96-GAS3HN) and rows for Heating Data, Circulator Blower, Electrical Data, Shipping Weight (lbs), and Notes.

SS-GM9S96/GC9S96 www.goodmanfimg.com 3

PRODUCT SPECIFICATIONS

Table with columns for model numbers (GSXN3-RT180V, GSXN3-RT240V, GSXN3-RT300V, GSXN3-RT360V, GSXN3-RT420V, GSXN3-RT480V, GSXN3-RT540V) and rows for Cameras, Compressor, Condenser Fan Motor, Refrigeration System, Electrical Data, and Equipment Weight (lbs).

SS-GSXN3 www.goodmanfimg.com 3

Client: NICK MASON, 2200 CARLTON WAY, SANTA BARBARA, CA

CDP SUBMITTAL

DRAWING REVISION table with columns for NO., DESCRIPTION, and DATE.

THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL RELATED DRAWINGS. DO NOT SCALE FROM THIS DRAWING. EVOKE DESIGN IS TO BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCY. THIS DRAWING IS COPYRIGHT AND REMAINS THE PROPERTY OF EVOKE DESIGN.

MECHANICAL SPEC SHEETS

AC CONDENSER SPEC 12" x 10" 01

MP200